



Common Council

Agenda Item

Cover Sheet

MEETING DATE: April 9, 2024

- ☐ Previously Discussed Ordinance
- ☒ Proposed Development Presentation
- ☐ New Ordinance for Discussion
- ☐ Miscellaneous
- ☐ Transfer

ITEM or ORDINANCE: #8

PRESENTED BY: Attorney Jim Shinaver

- ☒ Information Attached
- ☐ Bring Paperwork from Previous Meeting
- ☐ Verbal
- ☐ No Paperwork at Time of Packets

Noble West PD - 2023 Multi-Family Area A PD Amendment

Hazel Dell Parkway & Edenshall Lane

City Council Introduction

March 12, 2024



Nelson & Frankenberger

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Carmel, IN 46032

Cityscape Residentia

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317-574-1600

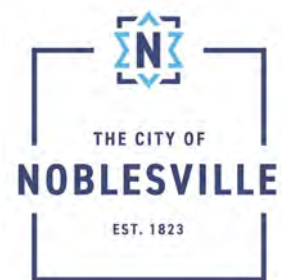




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TAB 1



STATEMENT OF INTENT

The Noble West Redevelopment Plan seeks to revise the zoning for the East Side Multifamily Tract (Multifamily Parcel 2) of the current Noble West PD located at the northeast corner of Hazel Dell Parkway and Edenshall Lane. The Multifamily Parcel 2 is currently authorized for 611 multifamily rental units, and the Noble West Redevelopment Plan proposes approximately 15 acres of for-sale townhomes containing no more than 150 units, approximately 3 acres of commercial retail development, and approximately 12 acres of luxury rental apartments containing up to 284 units in four-story buildings. The multifamily apartment proposal is led by Cityscape Residential, Lennar will develop the for-sale townhome portion of the site, and Riser Retail Group and Bryan Chandler will lead the development of retail outlots on Hazel Dell Parkway.

The proposed plan is a substantial reduction in rental apartments from the current zoning which allows for 611 apartments. The proposed 284 multifamily units will result in a decrease of 50% in rental units while adding up to 150 for-sale townhomes and several retail users. This will create a mixed-use environment for residents of Noblesville and falls in line with the City's projected housing inventory needs. The Noble West Redevelopment site plan and location are shown on Tab 2.

The multifamily apartments will be developed by Cityscape Residential and will be located on the southeastern 12 acres of the site along Edenshall Lane. Cityscape recently completed the successful development of Nexus Apartments at River Road and US-32, west of downtown Noblesville. The multifamily apartments will offer a one-bedroom, two-bedroom and three-bedroom units. The zoning request is for up to 284 multifamily units. Units will be top of the market featuring stainless steel appliances, granite countertops, luxury cabinets, designer lighting and plumbing fixture package, wood-look plank flooring in kitchens, bathrooms, and living rooms, and private balconies/patios in every unit. Buildings will feature controlled access and hospitality-finish corridors and will be serviced by elevators. Parking will be provided through a mix of tuck-under, assignable garages, and ample surface parking. Additionally, the multifamily site will be improved with a large, fully amenitized clubhouse, pool, and pickleball courts.

Cityscape has designed the architectural style of the multifamily buildings to be reflective of Frank Lloyd Wright and his prairie style architecture. The exteriors of the apartment buildings shall be constructed of masonry and EIFS (exterior finish and insulation system). The buildings contain a substantial amount of masonry and accentuated rooflines with several parapets and decorative brackets on each building. The balconies are "innie balconies" that sit in the building stack rather than cantilever off the building. This allows for a more elevated design aesthetic as well as provides privacy and weather protection for the residents. The coloring of tans, browns and natural masonry was chosen to match the aesthetic of the retail center to the south and the adjacent single-family neighborhoods. The proposed building design is based off Residences at Prairiefire, a well-established project in Overland Park, Kansas that was developed and constructed by Cityscape. Elevations of the proposed project and pictures from Residences at Prairiefire are shown on Tab 3.

**STATEMENT OF INTENT**

The for-sale townhomes will be developed by Lennar. They are familiar with the Noblesville community, having developed Lennar at Brooks Farm and in the process of developing The Timbers. The townhomes will be located on the northern 15 acres of the current Multifamily Parcel 2. The final number of townhomes will be dependent on the site layout including the shared detention pond which is to be on this parcel, but will not exceed 150 units. The townhomes will be 3-bedroom homes with attached garages and balconies/patios and three stories in height. After feedback from Noblesville, Lennar has chosen their 116th Town product to be used in this location. 4-sided elevations of this style townhome are included on Tab 4.

The retail component will be developed by Riser Retail Group and Bryan Chandler. These retail outlots are located on the southwest 3 acres of the current Multifamily Parcel 2 along Hazel Dell Parkway and Edenshall Lane. The users of these spaces are expected to total 30,000 SF. The permitted uses for this space will be all uses permitted in the Planned Business Zoning District of the UDO except: Automobile Fuel Station, Automobile Sales including Service and Storage, Automobile Service and Repair (Indoor), and Marine Craft Sales Repair and Service.

Two site items were identified during Noblesville's design review. The first was in relation to trail connectivity. This is a priority for the Noble West Multifamily Redevelopment Plan. A trail currently exists along the southern and western perimeter of the site along Edenshall Lane and Hazel Dell Parkway respectively. The multifamily section has extended this trail along the northeast portion of the site behind Building A and B. As the remainder of the site is developed, the City of Noblesville will be consulted to determine how this can continue to be incorporated. The second was regarding the preservation of the large tree population onsite. The Noble West PD Ordinance No. 21-06-13 Section 3, Paragraph 4 notes the prohibition on tree clearing with qualifications to size, safety, etc in area noted as the "Tree Preservation Area". The site planning has been done in a manner that remains consistent with this Tree Preservation Area. The Tree Preservation Plan, which spans the multifamily and townhome sites, is shown on Tab 6.

A full traffic study was completed by A&F Engineering. From the original site plan, two changes were incorporated. The first was moving the north/south private drive off Edenshall further east. This move was made to alleviate any concerns of the left-hand turn from Edenshall onto Hazel Dell extending past the original entrance location. The second change was adding an additional outbound turn lane on the east/west private drive onto Hazel Dell. A&F Engineering did not find any additional concerns with the traffic being created by the development.

STATEMENT OF INTENT

NOBLE WEST REZONE



NOBLESVILLE
INDIANA

STATEMENT OF INTENT

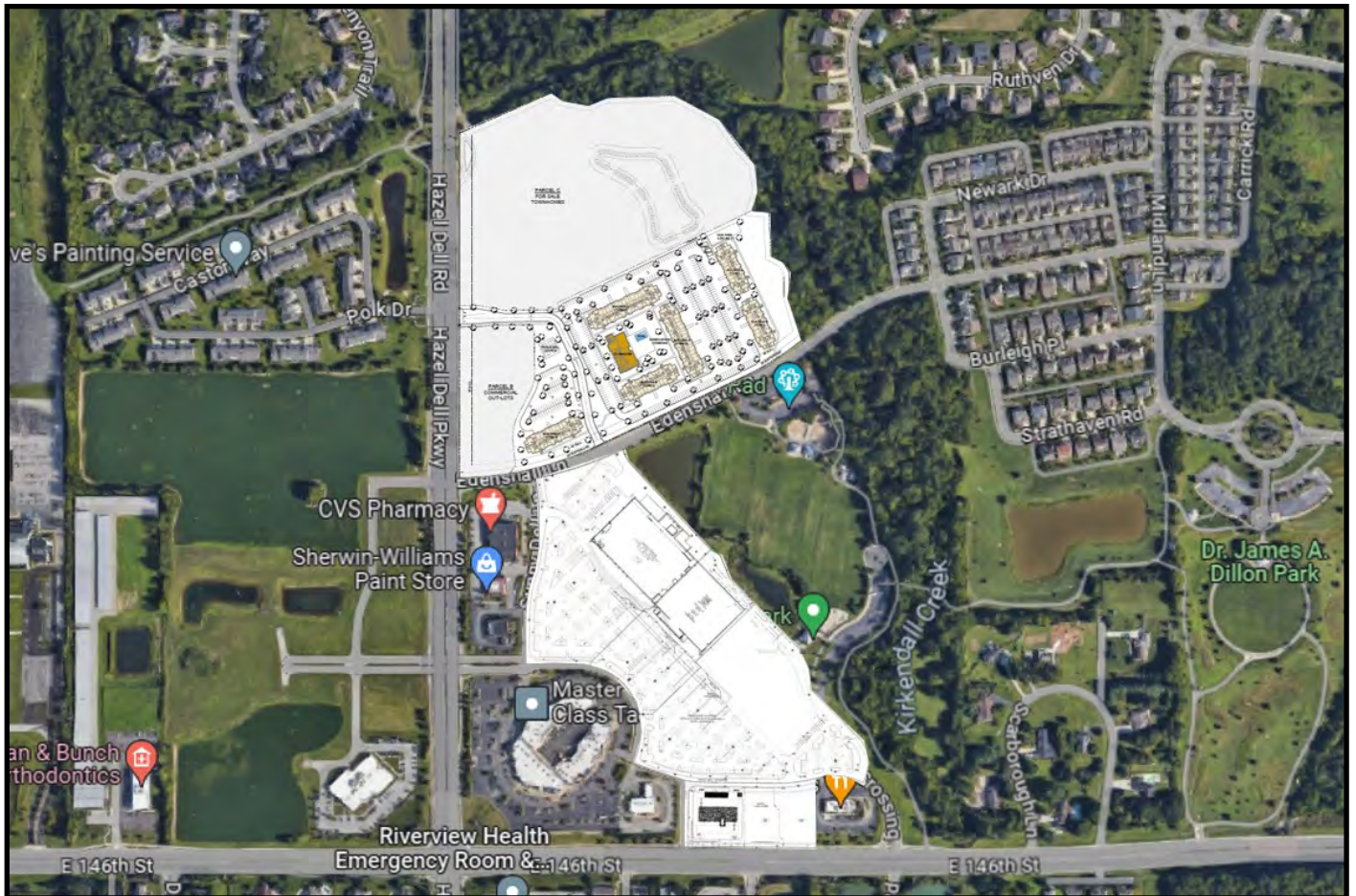
Cityscape Residential will be receiving developer-backed TIF to support the economics of the project. The TIF bonds will be used for issuance costs, acquisition of land, site infrastructure, sitework costs, and other allowable project costs. The TIF bonds are for 25 years at 83% of the apartment increment alone, resulting in a present value of \$6.7 million at 8%. There is no request for diversion of increment for the for-sale townhomes, or any of the incremental retail development. Over the 25-year statutory life of the TIF bonds, assuming a 2.5% annual increase in AV, the combined new increment from the currently-zoned apartment tract is expected to pay over \$39 million to the tax entities, separate from the developer-backed TIF.

We believe the rezoning of the Multifamily Parcel 2 to a blend of multifamily units, for-sale townhomes, and retail space will be a significant benefit to the Noblesville community and will provide a win-win solution for resolution of the existing zoning into a more desired use. The rezoning will create a mixed-used environment for residents, create additional amenities for Noblesville locals, and help in meeting the City's projected housing inventory needs. We look forward to discussing the Noble West Redevelopment Plan and appreciate you taking the time to review our proposal.

TAB 2



LOCATION AND SITE PLAN OVERLAY





MULIFAMILY, RETAIL AND TOWHOME SITE PLAN



TAB 3

DESIGN CONCEPT

The proposed multifamily portion is based on and will draw inspiration from Residences at Prairiefire, a Cityscape developed and constructed apartment community in Overland Park, Kansas. Below and continue on the next page are images from this community.



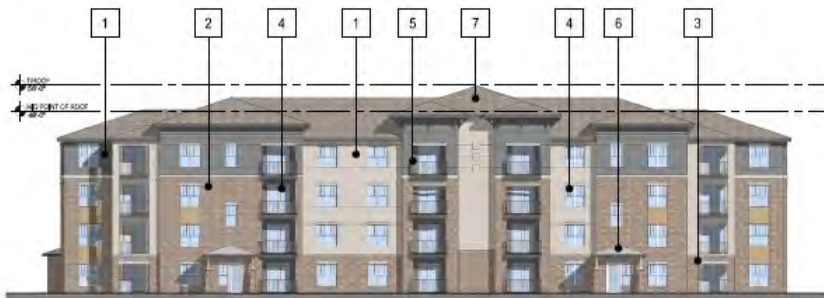
DESIGN CONCEPT



MULTIFAMILY RENDERING - BUILDING I



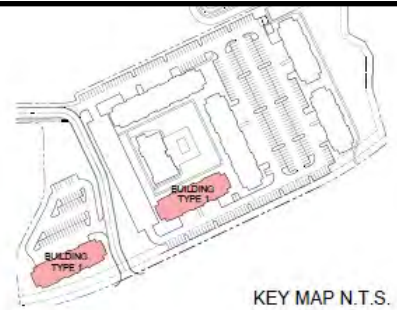
MULTIFAMILY ELEVATIONS - BUILDING TYPE I



FRONT ELEVATION

SCALE: 1" = 20'

1



KEY MAP N.T.S.



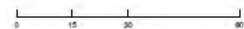
REAR (PARKING) ELEVATION

SCALE: 1" = 20'

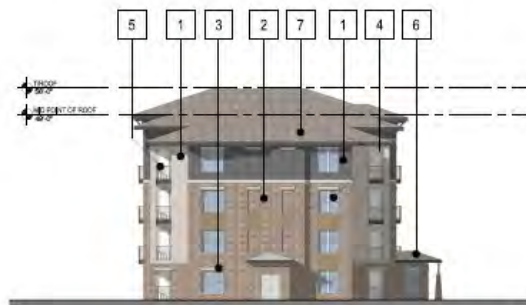
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MATERIAL LEGEND

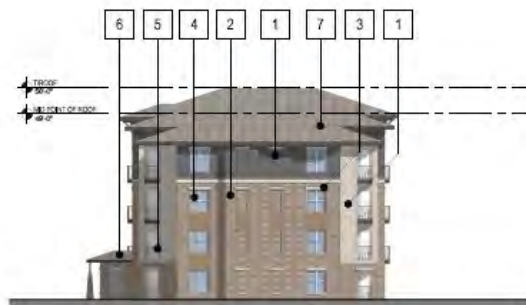
1. EIFS
2. MASONRY
3. CAST STONE
4. VINYL WINDOWS & DOORS
5. METAL RAILING
6. METAL STANDING SEAM ROOF
7. ASPHALT SHINGLE ROOF
8. THRU WALL CONDENSING UNITS
9. GARAGE DOOR
10. POTENTIAL CONDENSER LOCATIONS



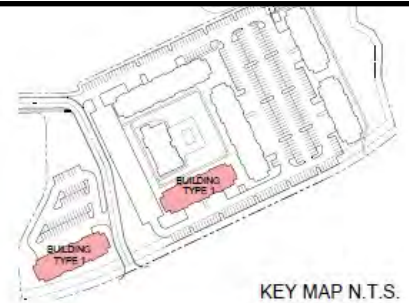
MULTIFAMILY ELEVATIONS - BUILDING TYPE I



LEFT SIDE ELEVATION SCALE: 1"=20' 1



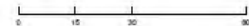
RIGHT SIDE ELEVATION SCALE: 1"=20' 2



KEY MAP N.T.S.

MATERIAL LEGEND

1. EIFS
2. MASONRY
3. CAST STONE
4. VINYL WINDOWS & DOORS
5. METAL RAILING
6. METAL STANDING SEAM ROOF
7. ASPHALT SHINGLE ROOF
8. THRU WALL CONDENSING UNITS
9. GARAGE DOOR
10. POTENTIAL CONDENSER LOCATIONS



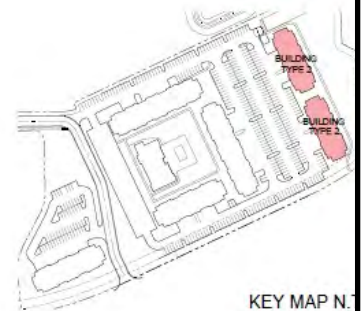
MULTIFAMILY ELEVATIONS - BUILDING TYPE II



FRONT ELEVATION SCALE 1" = 30' 1



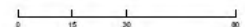
REAR (PARKING) ELEVATION SCALE 1" = 30' 2



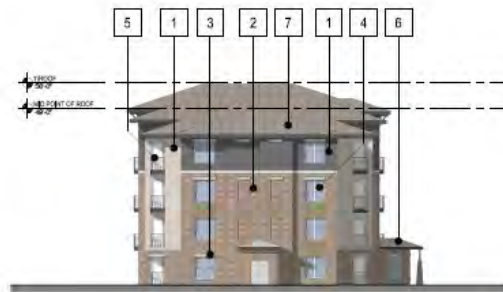
KEY MAP N.

MATERIAL LEGEND

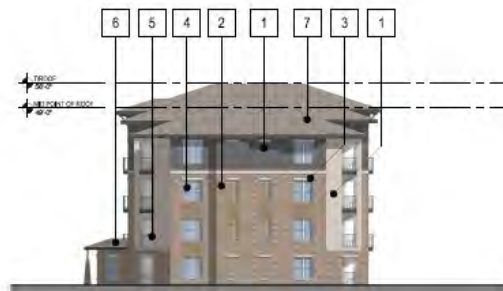
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5. METAL RAILING
6. METAL STANDING SEAM ROOF
7. ASPHALT SHINGLE ROOF
8. THRU WALL CONDENSING UNITS
9. GARAGE DOOR
10. POTENTIAL CONDENSER LOCATIONS



MULTIFAMILY ELEVATIONS - BUILDING TYPE II



LEFT SIDE ELEVATION SCALE: 1" = 30' 1

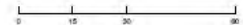


RIGHT SIDE ELEVATION SCALE: 1" = 30' 2



MATERIAL LEGEND

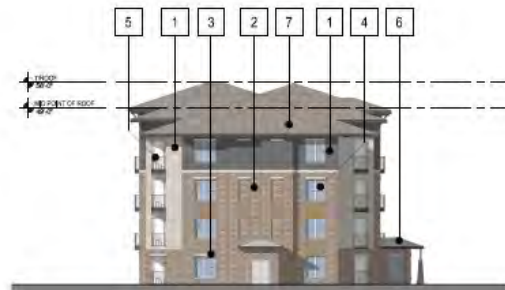
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- 6. METAL STANDING SEAM ROOF
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- 8. THRU WALL CONDENSING UNITS
- 9. GARAGE DOOR
- 10. POTENTIAL CONDENSER LOCATIONS



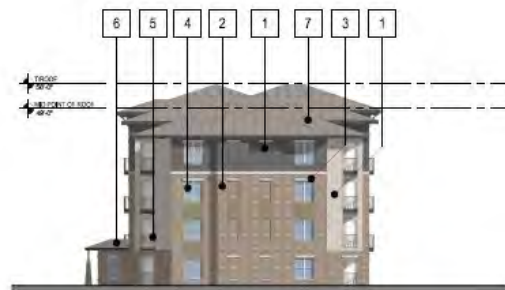
MULTIFAMILY ELEVATIONS - BUILDING TYPE III



MULTIFAMILY ELEVATIONS - BUILDING TYPE III



LEFT SIDE ELEVATION SCALE: 1"=30' 1

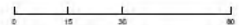


RIGHT SIDE ELEVATION SCALE: 1"=30' 2

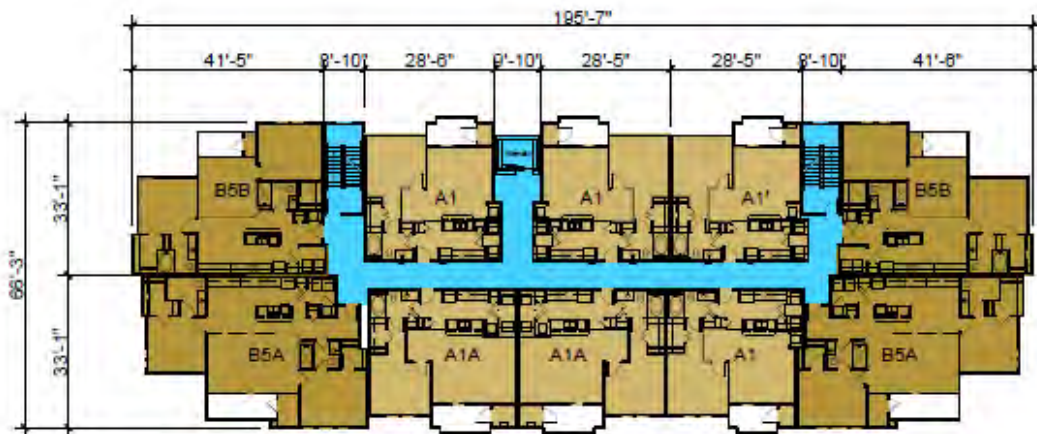


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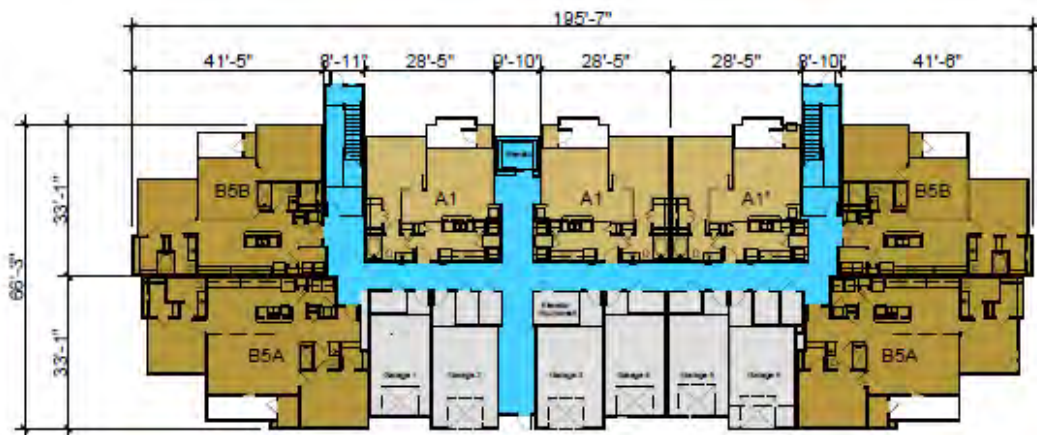
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3. CAST STONE
4. VINYL WINDOWS & DOORS
5. METAL RAILING
6. METAL STANDING SEAM ROOF
7. ASPHALT SHINGLE ROOF
8. THRU WALL CONDENSING UNITS
9. GARAGE DOOR
10. POTENTIAL CONDENSER LOCATIONS



MULTIFAMILY FLOORPLANS - BUILDING TYPE I



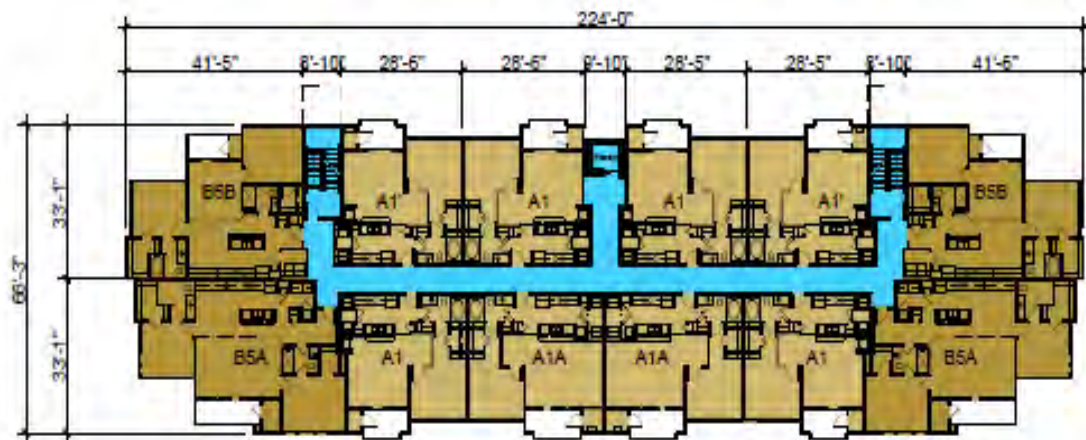
LEVEL 2-4 TYP.



LEVEL 1

**Example floorplates, subject to change.*

MULTIFAMILY FLOORPLANS - BUILDING TYPE II



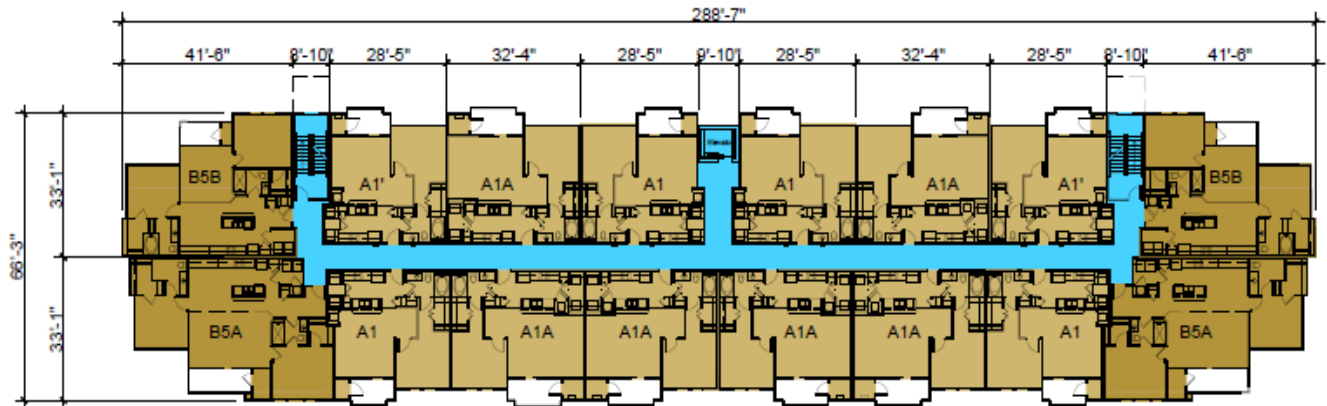
LEVEL 24 TYP.



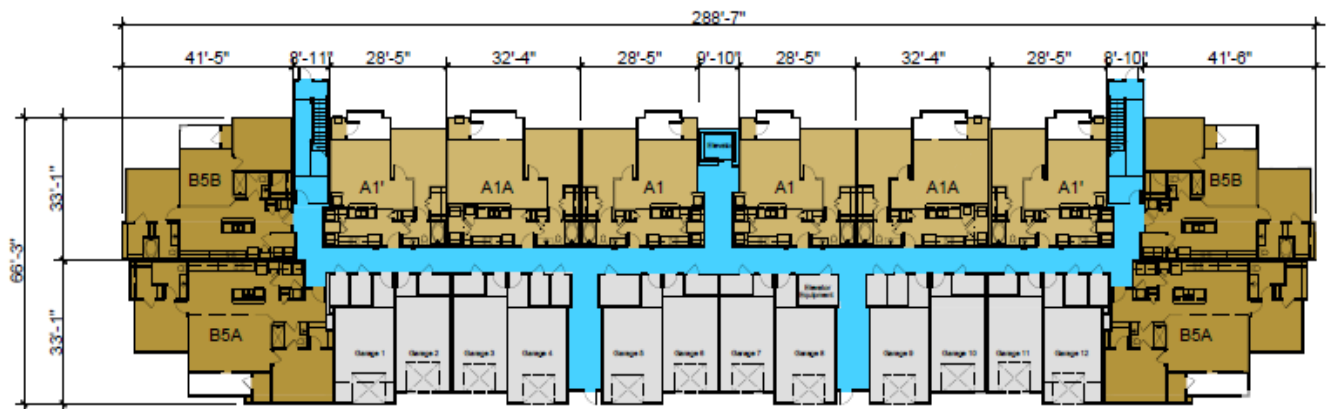
LEVEL 1

**Example floorplates, subject to change.*

MULTIFAMILY FLOORPLANS - BUILDING TYPE III



LEVEL 2-4 TYP.



LEVEL 1

**Example floorplates, subject to change.*

TAB 4

LENNAR ELEVATIONS

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116 Towns | Talbott



Elevation

LENNAR.COM

* Elevation is an artistic rendering and may include optional features; refer to Seller's blueprints for exact elevation details.

TOWNHOME ELEVATIONS

NOBLE WEST REZONE

LENNAR®

LENNAR ELEVATIONS

LENNAR®

116 Towns | Talbott



Elevations of a home may vary and we reserve the right to substitute equipment, material, appliances and brand names with those of equal or higher value, in our sole opinion. Color and size variations may occur. The prices of our homes, including features, and available locations are subject to change without notice. Please see the actual home purchase agreement for additional information, disclosures and restrictions relating to this home and its features. Plans and elevations are artist's renderings and may contain options which are not standard on all models. Lennar reserves the right to make changes to these floor plans, specifications, dimensions and elevations without prior notice. Stated dimensions and square footage are approximate and should not be used as representation of the home's precise or actual size. Any statement, verbal or written, regarding "under all" or "finished area" or any other description or modifier of the square footage size of any home is a shorthand description of the measurement of the square footage was estimated and it should not be construed to indicate accuracy. Visit Lennar.com or see a Lennar Home Consultant for further details and important legal disclosures. This is not an offer in states where prior registration is required. Void where prohibited by law. Copyright © Lennar Corporation. Lennar and the Lennar logo are U.S. registered service marks or trademarks of Lennar Corporation and/or its subsidiaries. 2/20

TOWNHOME ELEVATIONS

NOBLE WEST REZONE

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LENNAR ELEVATIONS



PRELIMINARY ELEVATION DESIGN

116TH STREET TOWNHOMES - FISHERS

LENNAR®
INDIANAPOLIS DIVISION

TOWNHOME ELEVATIONS

NOBLE WEST REZONE

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PRELIMINARY ELEVATION DESIGN

116TH STREET TOWNHOMES - FISHERS

LENNAR®
INDIANAPOLIS DIVISION

TOWNHOME ELEVATIONS

NOBLE WEST REZONE

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LENNAR ELEVATIONS



6-UNIT BUILDING REAR ELEVATION

SCALE: 1/8" = 1'-0"



6-UNIT BUILDING FRONT ELEVATION

SCALE: 1/8" = 1'-0"

NOTE: SEE 4-UNIT AND 5-UNIT DRAWINGS FOR SIDE ELEVATIONS (SIMILAR)

PRELIMINARY ELEVATION DESIGN

116TH STREET TOWNHOMES - FISHERS

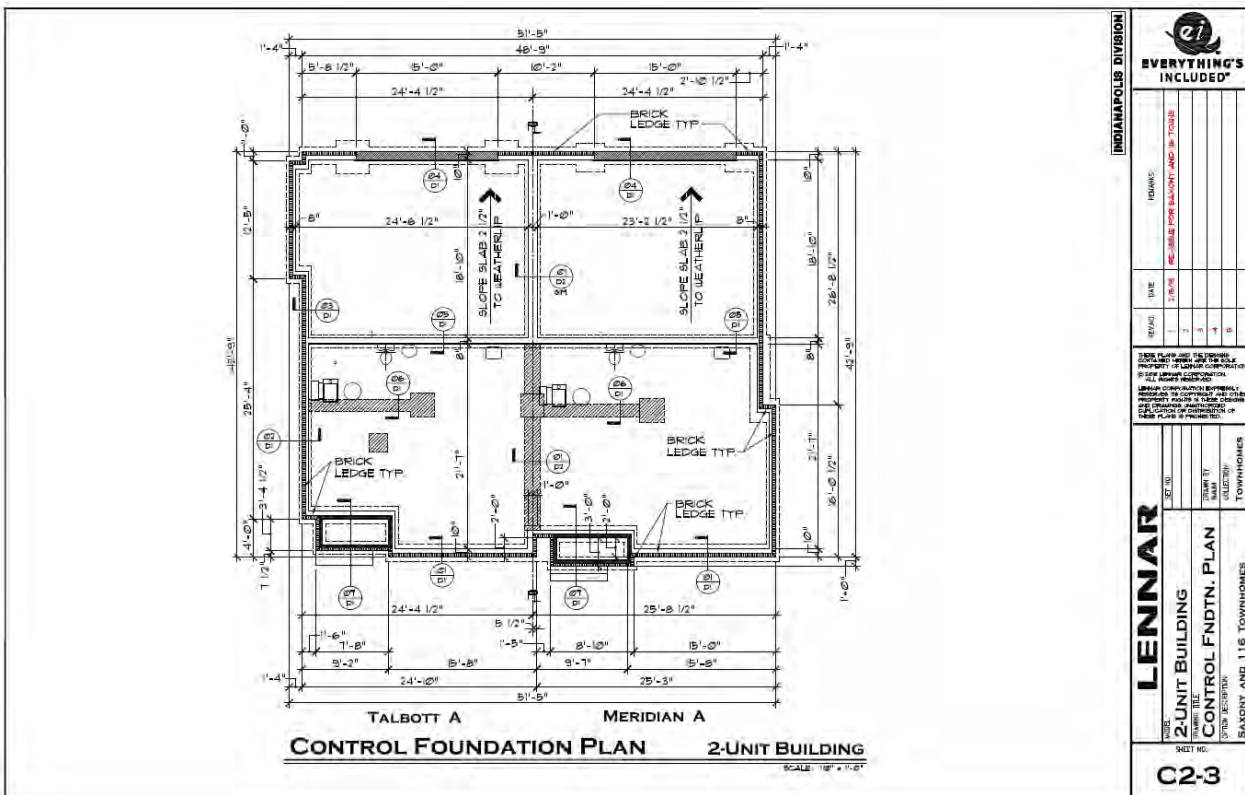
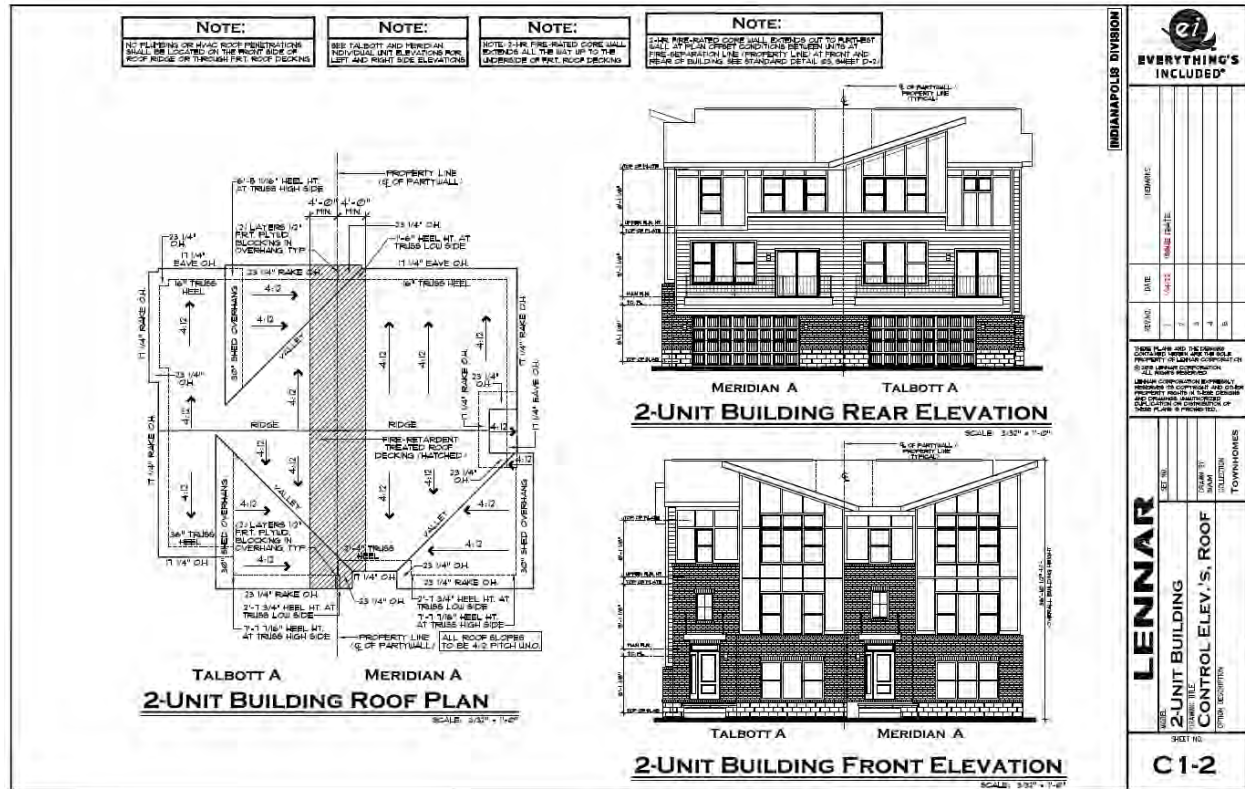
LENNAR®
INDIANAPOLIS DIVISION

TOWNHOME ELEVATIONS

NOBLE WEST REZONE

LENNAR®

LENNAR ELEVATIONS

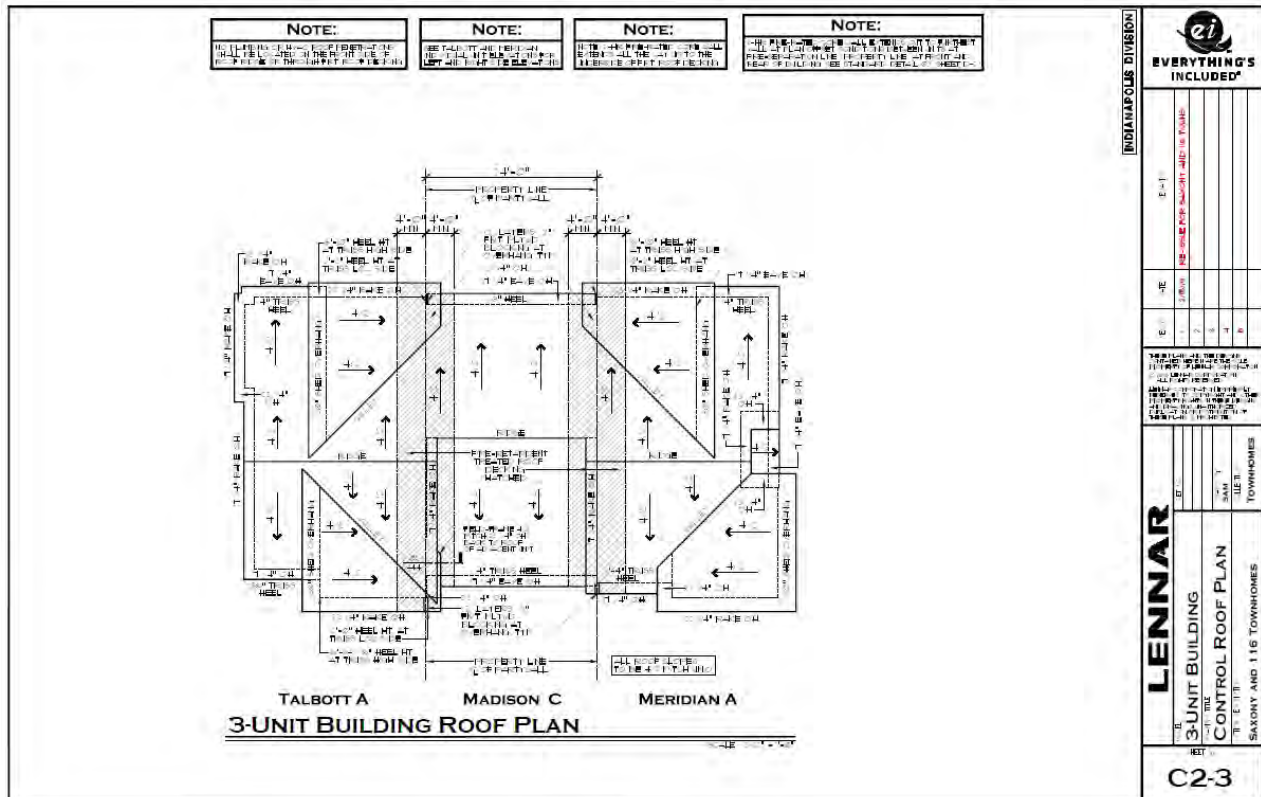
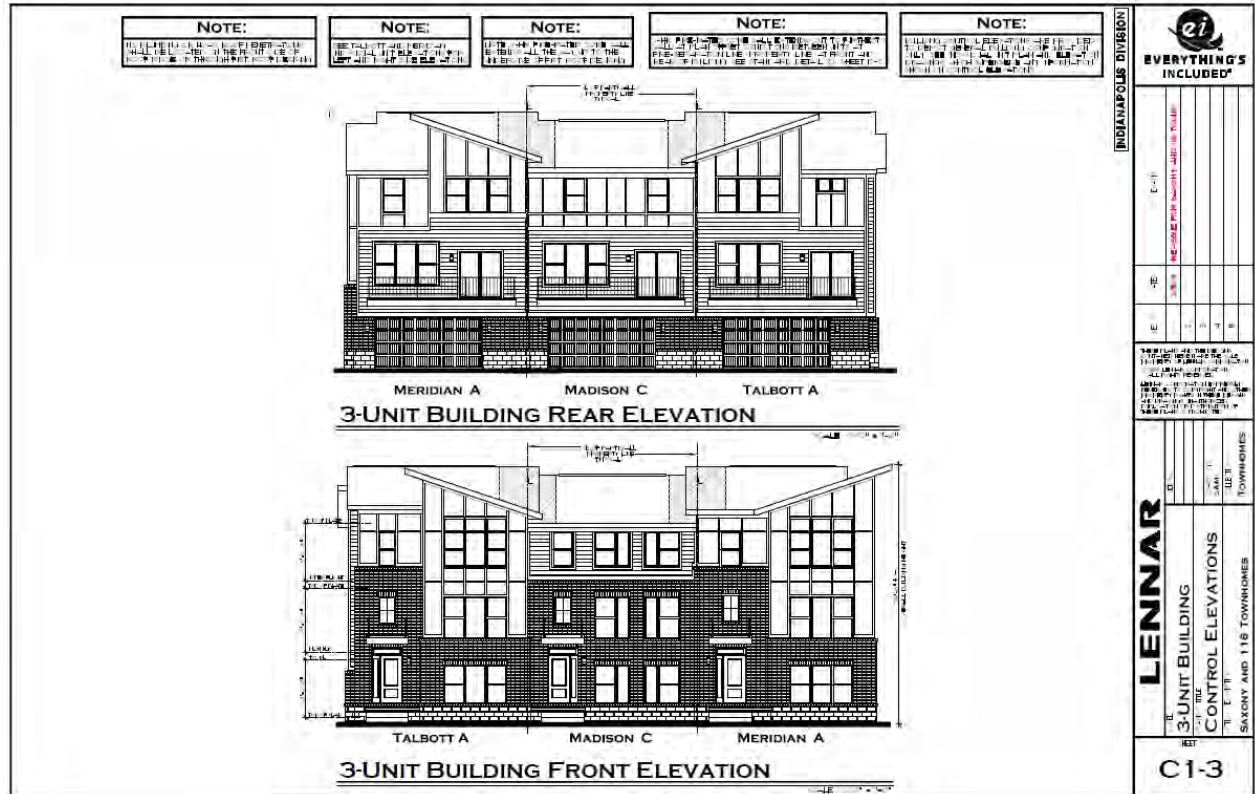


TOWNHOME ELEVATIONS

NOBLE WEST REZONE

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LENNAR ELEVATIONS

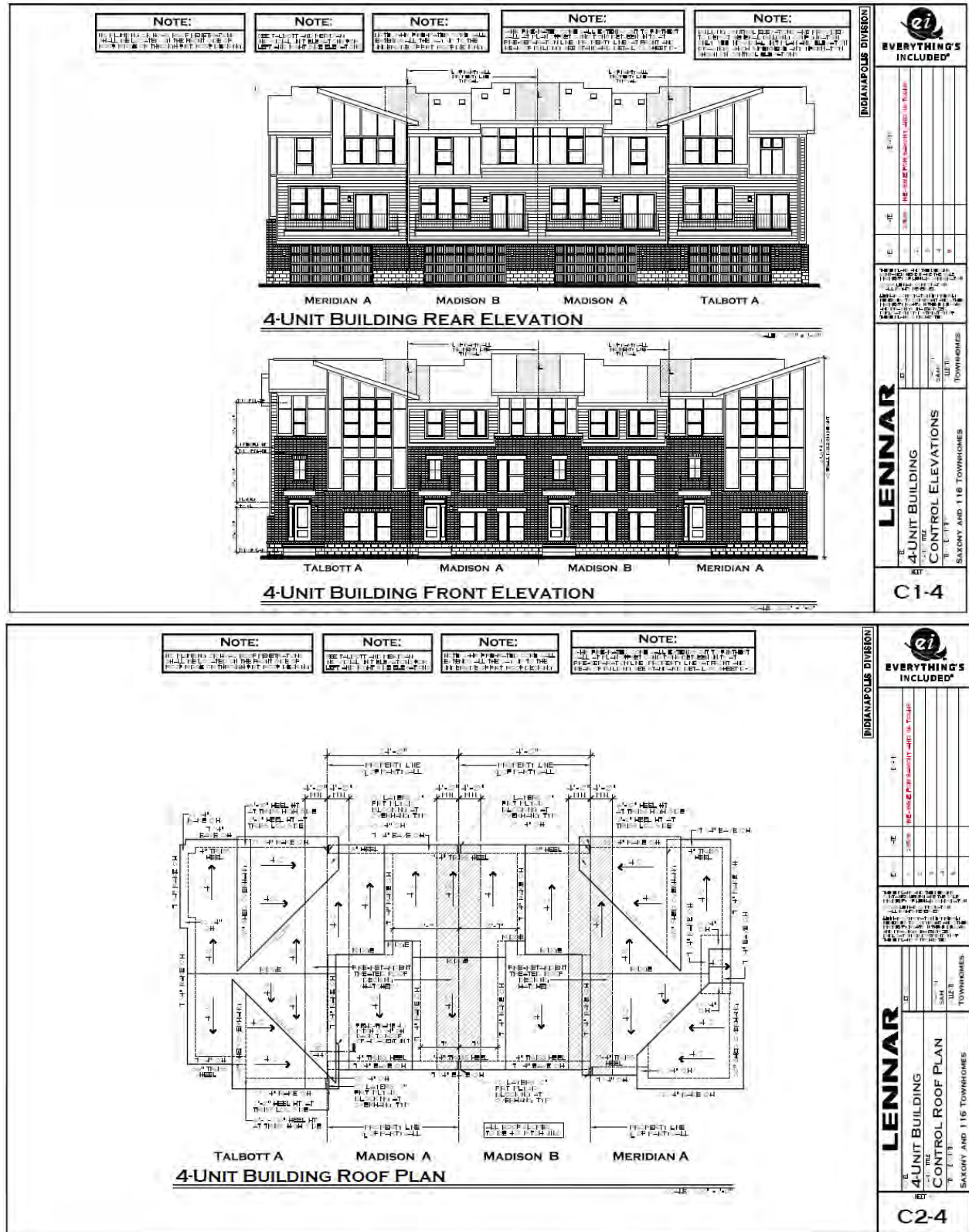


TOWNHOME ELEVATIONS

NOBLE WEST REZONE

LENNAR®

LENNAR ELEVATIONS

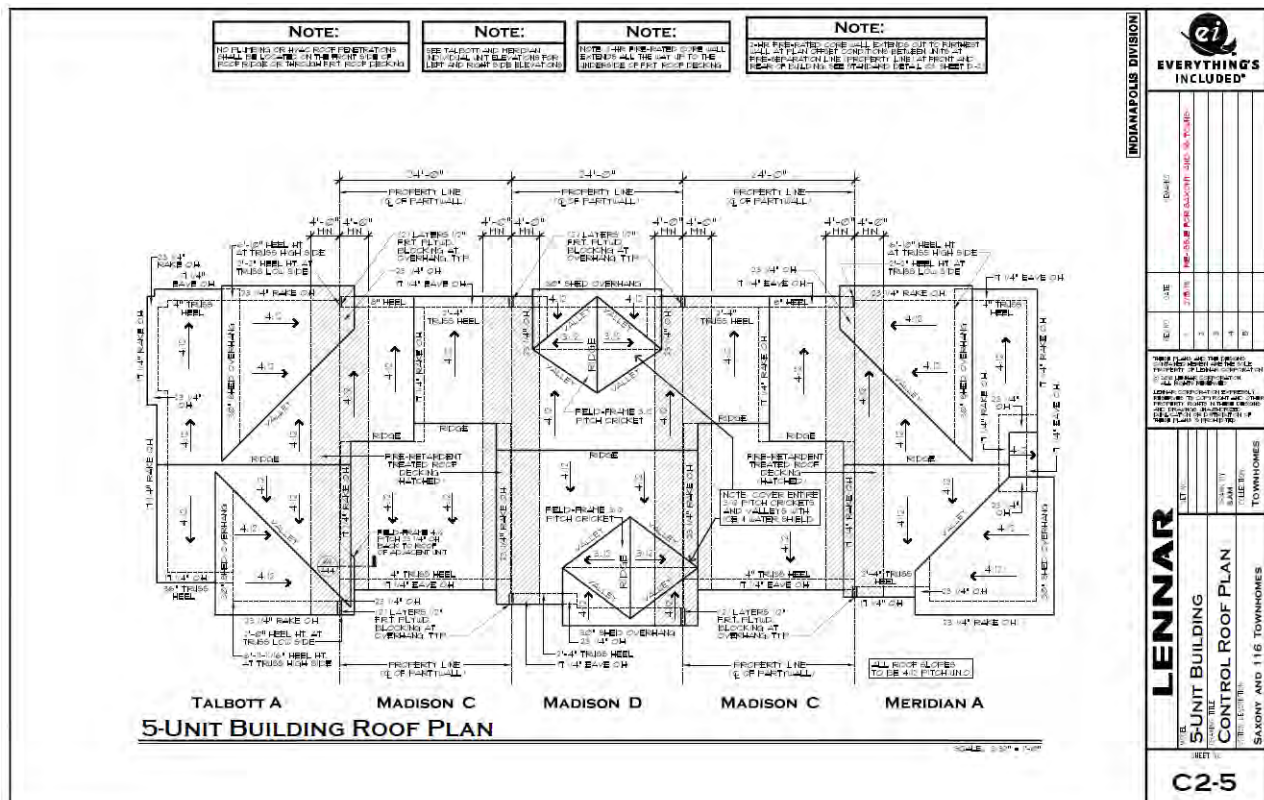


TOWNHOME ELEVATIONS

NOBLE WEST REZONE

LENNAR®

LENNAR ELEVATIONS



TAB 5

STARBUCKS WITH RETAIL SHOPS



STARBUCKS FREESTANDING



CHIPOTLE FREESTANDING



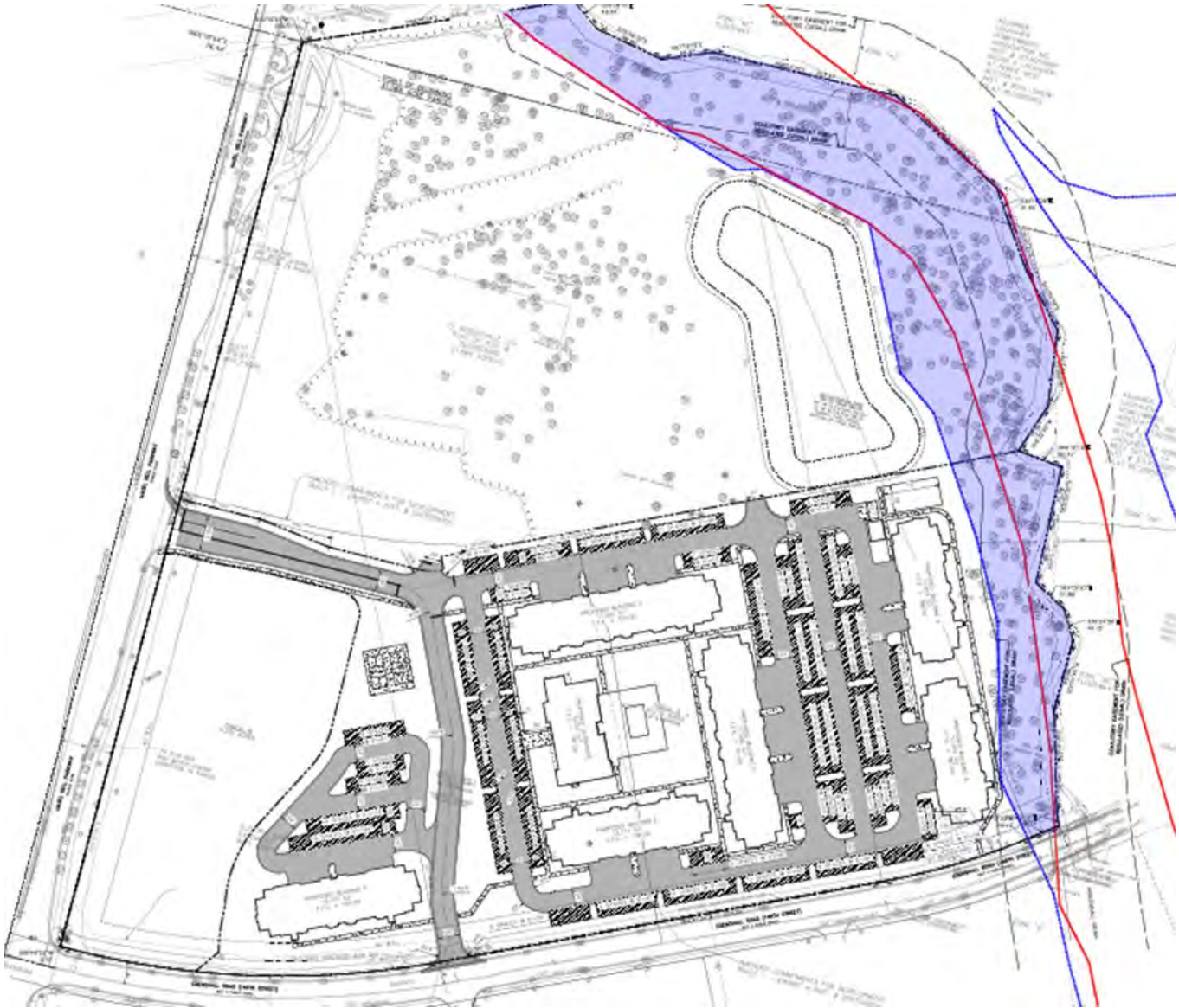
CHIPOTLE 4-SIDED ARCHITECTURE



TAB 6



TREE PRESERVATION PLAN



TAB 7

ORDINANCE NO. - 24

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE, AND
THE NOBLE WEST PD ORDINANCE AND ALL AMENDMENTS THERETO,
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

Document Cross Reference No. _____

WHEREAS, the Common Council of the City of Noblesville, Hamilton County, Indiana, (the “Common Council”) on the 14th day of January 2003, adopted the Noble West PD Ordinance as Ordinance Number 59-12-02 and the Noble West Ordinance was recorded in the Office of the Recorder of Hamilton County, Indiana, as Instrument No. 2003-00008624; and

WHEREAS, the Common Council on the 10th day of June 2003, as Ordinance Number 37-5-03, adopted an Amended and Restated Ordinance Number 59-12-02 and the Amended and Restated Ordinance Number 59-12-02 was recorded in the Office of the Recorder of Hamilton County, Indiana, as Instrument No. 2003-00058881, as amended (the “Noble West PD”); and

WHEREAS, this Ordinance (the “Noble West PD – 2023 Multi-Family Area 2 PD Amendment Ordinance” which is also referred to herein as “this Ordinance”) amends (i) the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana, (the “UDO”) enacted by the City of Noblesville, Indiana (the “City”) under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended and (ii) the Noble West PD; and

WHEREAS, the Plan Commission of the City of Noblesville (the “Plan Commission”) conducted a public hearing on Application Number LEGP 0158-2023 at its _____, 2024 meeting, as required by law, in regard to the application concerning amendments to the Noble West PD as it pertains to certain property described in Exhibit A attached hereto (the “Real Estate” which is also referred to herein as the “District”) and the adoption of an amended preliminary development plan to be known, collectively with attached Exhibits, as the “Noble West PD - 2023 Multi-Family Area 2 Preliminary Development Plan”, as further described in Section 3 below (the “Preliminary Development Plan”); and

WHEREAS, the Plan Commission has sent a _____ Recommendation for adoption of said amendments with a vote of _____ () in favor and _____ () opposed to the Common Council;

NOW, THEREFORE, BE IT ORDAINED by the Common Council, meeting in regular session, that it adopts this Noble West PD - 2023 Multi-Family Area 2 PD Amendment Ordinance as an amendment to the Noble West PD including all zoning commitments and all amendments thereto, the UDO and the Official City of Noblesville Zoning Map, as follows:

Section 1. Applicability of Ordinance.

- A. The Location Plan of the Noble West PD is amended to designate the portion of the Real Estate identified as Retail Area on Exhibit B (the “Location/Area Plan”) as Retail Area per the terms of the Noblesville West PD, unless otherwise amended by this Ordinance. All portions of the Real Estate not identified as Retail Area shall remain subject to the Multi-Family Area standards of the Noble West PD, unless otherwise amended by this Ordinance. These areas include the area identified as Townhome Area and Multi-Family Area on Exhibit B, (the “Townhome Area”) and (the “Multi-Family Area”) respectively, as further regulated by the terms of this Ordinance.
- B. Development of the Real Estate shall be governed entirely by (i) the provisions of this Ordinance and its exhibits, (ii) those provisions of the UDO applicable to the Noble West PD, and (iii) the Noble West PD, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance (collectively, the “Governing Standards”). The Governing Standards shall be as provided in Section 2 thru Section 11 of this Ordinance.
- C. All provisions and representations of the UDO and Noble West PD that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Ordinance.

Section 2. Permitted Uses.

- A. All uses as permitted in the Noble West PD, as applicable by Area, shall be permitted, except as modified below:
 - 1. Multi-Family Area: The permitted and maximum number of Dwelling Units in the Multi-Family Area shall not exceed two hundred and eighty four (284).
 - 2. Townhome Area: Only Townhome Dwellings shall be permitted in the Townhome Area and the permitted and maximum number of Dwelling Units in the Townhome Area shall not exceed one hundred and fifty (150).
 - 3. Retail Area:
 - a. All Uses permitted in the Planned Business (PB) Zoning District of the UDO shall be permitted, except the following Uses which shall be prohibited within the Retail Area:
 - i. Automobile Fuel Station,
 - ii. Automobile Sales including Service and Storage,
 - iii. Automobile Service and Repair (Indoor), and
 - iv. Marine Craft Sales, Repair, and Service.
 - b. The maximum square footage provisions of Section 6.3 the Noble West PD shall not apply to the Retail Area, rather the maximum square footage of Gross Floor Area for Uses with the Retail Area shall be thirty thousand (30,000) square feet.

- B. Accessory Uses and Accessory Structures customarily incidental to any permitted use shall be permitted.

Section 3. **Preliminary Development Plan.**

- A. A full sized, scaled Preliminary Development Plan is on file with the City's Planning and Development Department with a revision date of March 1, 2024. What is attached hereto as Exhibit C is a general representation of the full sized plans and Exhibit C, together with the full sized plans, shall be collectively referred to as the "Preliminary Development Plan".
- B. The Preliminary Development Plan is hereby incorporated herein and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations/waivers from the Governing Standards.
- C. Preliminary Development Plan approval shall be satisfied for the Real Estate by the approval of the Preliminary Development Plan included as Exhibit C.
- D. Detailed Development Plan approval as required under Section 11 of this Ordinance shall be required prior to the issuance of an improvement location permit or the construction of any building(s) within all three (3) Areas on the Location Plan.

Section 4. **Bulk Standards.** The bulk requirements of the Noble West PD applicable to the Real Estate including, but not limited to, (i) Section 7 and any amendments thereto and (ii) Exhibit G of the Noble West PD, shall be modified and superseded by the below:

- A. Townhome Area and Multi-Family Area Bulk Requirements Table:

Requirements	Townhome Area	Multi-Family Area
Minimum Lot Area per Dwelling	1,400 sq. ft./unit	Not applicable
Minimum Lot Width	20 ft. per dwelling unit	Not applicable
Maximum Building Height	37 ft.	56 ft.
Minimum Front Yard Setback	10 ft. 40 ft. along Hazel Dell	40 ft. 0 ft. private drive and 10 ft. internal street
Minimum Side Yard Setback (separation between buildings)	15 ft.	20 ft.
Minimum Rear Yard Setback	20 ft. as measured from back of Alley curb	20 ft. 5 ft. for Accessory Structure
Floor Area Ratio shall not exceed:	Not applicable	Not applicable
Minimum Floor Area (per dwelling unit)	1,400 sq. ft.	*600 sq. ft.
Maximum Lot Coverage	Not applicable	Not applicable

* As many as 12 units may have a minimum floor area of 515 square feet.

- B. Retail Area Bulk Requirements: The requirements applicable to the Retail Area included in Section 7.2 of the Noble West PD shall apply to the Retail Area as illustrated on Exhibit B, except as modified below or elsewhere in this Ordinance:
1. The Bufferyard along Hazel Dell Parkway shall be as required under Section 6.C of this ordinance.
 2. Required Minimum Setbacks: Front Yard: Twenty (20) feet; Side Yard: Ten (10) feet; Rear Yard: Ten (10) feet.
 3. Parking and Loading shall comply with Section 7 of this Ordinance.
- C. Lot Standards applicable to the Townhome Area:
1. Lot Area may include a portion of an alley easement.
 2. Lots that do not front on a public right of way are permitted. In this case, the front lot line shall be opposite and parallel to the alley and the rear lot line shall be in the center of the alley.
 3. Corner Lot standards of the UDO shall not apply to Townhome Dwellings.

Section 5. Architectural Standards. The Noble West PD, as it applies to architecture and/or architectural standards shall be modified and superseded by the below:

- A. Multi-family Area:
1. The approved elevations shall be the set of elevations on file with the City's Planning and Development Department as submitted on March 1, 2024 (the "Multi-Family Approved Elevations"). Color illustrations of the Approved Elevations are included under Exhibit D of this Ordinance.
 2. The Multi-family Approved Elevations are hereby incorporated and approved. All Multi-family buildings shall be substantially consistent with the Multi-Family Approved Elevations. The Director of Planning and Development, including his or her designees, shall review and approve multi-family elevations at the time of filing of the Detailed Development Plan and/or Building Permit for compliance and consistency with the Multi-family Approved Elevations.
 3. The elevations of any multi-family building that substantially varies from the Multi-Family Approved Elevations shall be submitted for review and approval by the Director of Planning and Development to determine if they are in general conformance with the character of multi-family buildings hereby incorporated in the Multi-Family Approved Elevations or require approval by the Architectural Review Board if not found in conformance with the elevations included in Exhibit D. The Architectural Review Board's review of said multi-family building elevation(s) shall be performed in order to determine its

compatibility and consistency with the intended quality and character of the Multi-family Approved Elevations.

B. Townhome Area:

1. The approved elevations shall be the set of elevations on file with the City's Planning and Development Department as submitted on March 1, 2024 (the "Townhome Elevations and Perspectives"). Final building elevations submitted for building permits shall be in substantial compliance with the Townhome Elevations and Perspectives illustrated Exhibit E.
2. The Townhome Elevations and Perspectives are hereby incorporated and approved. All Townhome buildings shall be substantially consistent with the Townhome Elevations and Perspectives. The Director of Planning and Development, including his or her designees, shall review and approve townhome elevations at the time of filing of the Detailed Development Plan and/or Building Permit for compliance and consistency with the Townhome Elevations and Perspectives.
3. The elevations of any townhome building that substantially varies from the Townhome Elevations and Perspectives shall be submitted for review and approval by the Director of Planning and Development to determine if they are in general conformance with the character of multi-family buildings hereby incorporated in the Townhome Elevations and Perspectives or require approval by the Architectural Review Board if not found in conformance with the elevations included in Exhibit E. The Architectural Review Board's review of said townhome building elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the Townhome Elevations and Perspectives.

C. Retail Area: All buildings in the Retail Area shall be subject to the Retail Commercial Architectural Building Requirements of the Noble West PD, except as modified below:

1. The City's Architectural Review Board may approve modifications to the Commercial Architectural Building Requirements of the Noble West PD.
2. The Architectural Review Board's review of said retail building elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of buildings included in the Retail and Commercial Architectural Building Requirements of the Noble West PD, included as Exhibit G to this Ordinance, for reference.

Section 6. Landscaping and Open Space Standards. The standards of the Noble West PD and of the UDO, as applicable to the Noble West PD, shall apply, except as modified below:

- A. Multi-Family Area. All Landscaping within the Multi-Family Area shall be as provided on the Preliminary Development Plan. The number of trees planted along Edenshall Lane shall be seventy-five percent (75%) greater than the number required by the UDO.
- B. Townhome Area. All townhome Lots shall be landscaped in accordance with the following:
 - 1. Front yard landscaping: One (1) shade Tree is required. Two (2) additional shade or ornamental tree are required adjacent to end units where those units abut a street or internal drive. Trees shall be placed in the adjacent Common Area or Right-of-Way. A total of six (6) Shrubs per Lot shall be required.
- C. Landscape Buffer Yards. Landscape Buffer Yards shall be provided as shown on the Preliminary Development Plan and subject to the following:
 - 1. The Bufferyard adjacent to Hazel Dell Parkway shall have a minimum width of ten (10) feet.
 - 2. Screening and buffering along Hazel Dell may be achieved through walls, fences and/or landscaping and shall be a minimum of three (3) feet in height.
 - 3. No buffer yards shall be required (i) between the Uses internal to the District and (ii) adjacent to other parcels within the Noble West PD.
- D. Open Space.
 - 1. The minimum area required for Open Space shall be substantially in the size, configuration and locations depicted on the Preliminary Development Plan.
 - 2. The Open Space standard of the Noble West PD shall not apply to the Retail Area and the Townhome Area.
 - 3. The Tree Preservation Area as identified in Ordinance 21-6-13, Section 3.D shall be amended by the Tree Preservation Plan included under Exhibit H which apply to existing trees within the Tree Preservations Plan except that trees may be removed to accommodate required site infrastructure as identified on Exhibit H. Existing trees outside of the Tree Preservation Plan, as shown on Exhibit H, may be removed to accommodate site infrastructure, necessary grading and building construction.

Section 7. Parking and Loading Standards. The standards of Noble West PD shall apply, except as modified below. Article 10 of the UDO shall not apply unless noted below:

- A. Parking shall be permitted within a front, side or rear yard and shall provide (i) a minimum five (5) foot setback from side yards and streets internal to the District,

(ii) a minimum ten (10) setback from Hazel Dell Parkway, (iii) and a minimum twenty (20) foot setback from Edenshall Road. In no case shall parking encroach into a required Bufferyard.

- B. Article 10, Off-Street Parking and Loading, of the UDO shall apply if application of the UDO minimum number of required parking spaces is less than the minimum required under the Noble West PD.
- C. The number of required parking spaces shall for multi-family dwelling shall meet the standard included in Article 10, Off-Street Parking and Loading, of the UDO.

Section 8. Lighting Standards. The standards of Article 13, Environmental Performance Standards, of the UDO, shall apply, except as modified below:

- A. Townhome Area: Light fixtures shall be required (i) between garage doors and (ii) adjacent to each front door. Photocell control shall be required for lights between garage doors.

Section 9. Sign Standards. Signs shall comply with Article 11 of the UDO as applicable to the Noble West PD, except as modified below:

- A. Multi-Family Area:
 - 1. A sign location plan for the Multi-family Area is attached hereto and incorporated by reference as Exhibit F.
 - 2. The three (3) ground signs as illustrated in Exhibit F shall be permitted on the Real Estate and shall meet the height and size requirements of the UDO.

Section 10. Infrastructure Standards. Unless otherwise stated within this Ordinance or on the Preliminary Development Plan, all public infrastructure within the Real Estate shall adhere to the City's standards and design criteria, subject to the following specific waivers that are hereby approved:

- A. Streets may be Public or Private.
- B. Utility easements shall be a minimum of ten (10) feet wide.

Section 11. Detailed Development Plan.

- A. Approval of any Detailed Development Plan ("DDP") shall follow the procedures set out in Article 8 of the UDO, subject to the following clarification:
 - 1. The Director of Planning and Zoning shall approve a Minor Change; and
 - 2. If a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, The Major Change shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the Governing Standards set forth herein and shall

be compatible and consistent with the intended quality and character of the District.

- B. A Secondary Plat shall be submitted for review and approval as part of any approved DDP.

Section 12. Effective Date. This Noble West PD – 2023 Multi-Family Area 2 Amendment Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

[The remainder of this page intentionally left blank; signature page follows.]

Approved on this _____ day of _____, 2024 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Darren Peterson		
	Meghan Wiles		
	Pete Schwartz		
	Evan Elliott		
	Michael J. Davis		
	Todd Thurston		
	Aaron Smith		
	Mark Boice		
	David Johnson		

ATTEST: _____
Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this ____ day of _____, 2024 at _____.M.

Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

Chris Jensen, Mayor

Date

MAYOR'S VETO

Chris Jensen, Mayor

Date

ATTEST: _____
Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Jon C. Dobosiewicz

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.

Noble West - 2023 PD Multi-family Amendment Ordinance 5 022924

EXHIBIT A

Legal Description

(Page 1 of 3)

The Land referred to herein below is situated in the County of Hamilton, State of Indiana, and is described as follows:

A part of the Southwest Quarter and a part of the Northwest Quarter of Section 15, Township 18 North, Range 4 East, Noblesville Township, Hamilton County, Indiana, described as follows:

Commencing at the Southwest corner of the Southwest Quarter of Section 15, Township 18 North, Range 4 East; thence North 00 degrees 00 minutes 00 seconds (Assumed Bearing) 2,622.39 feet along the West line of said Southwest Quarter to its point of intersection with Southwesterly extension of the Northwestern boundary of the 14.87 acre tract of land described in Exhibit A of the warranty deed recorded as Instrument Number [200400012796](#) by the Recorder of Hamilton County, Indiana; thence North 66 degrees 18 minutes 54 seconds East 76.44 feet along the Southwesterly extension of the Northwestern boundary of said 14.87 acre tract of land to a point being 70.00 feet East (By perpendicular measure) of the West line of Northwest Quarter of Section 15, Township 18 North, Range 4 East and to the point of beginning of this description; thence North 66 degrees 18 minutes 54 seconds East 368.49 feet along the Southwesterly extension of the Northwestern boundary of said 14.87 acre tract of land to the terminus of the Northwestern boundary of said 14.87 acre tract of land on the approximate centerline of the Kirkendall Drain, the following Twelve (12) courses are along the Western boundary of said 14.87 acre tract of land which meanders said centerline; 1) thence South 54 degrees 28 minutes 16 seconds East 49.04 feet; 2) thence South 79 degrees 50 minutes 33 seconds East 96.80 feet; 3) thence North 67 degrees 19 minutes 12 seconds East 69.37 feet; 4) thence North 88 degrees 19 minutes 15 seconds East 253.37 feet; 5) thence South 62 degrees 25 minutes 03 seconds East 183.11 feet; 6) thence South 34 degrees 18 minutes 28 seconds East 51.60 feet; 7) thence South 35 degrees 01 minute 21 seconds East 66.32 feet; 8) thence South 42 degrees 35 minutes 08 seconds East 91.34 feet; 9) thence South 07 degrees 39 minutes 21 seconds East 102.72 feet; 10) thence South 18 degrees 32 minutes 45 seconds West 72.01 feet; 11) thence South 84 degrees 16 minutes 10 seconds East 62.42 feet; 12) thence South 02 degrees 22 minutes 20 seconds East 72.78 feet (computed, 72.54 feet deeded) to the Southwestern corner of said 14.87 acre tract of land and to the Northwestern corner of the 14.80 acre tract of land described in Exhibit A of the warranty deed recorded as Instrument Number [200300110451](#) by said recorder, the following Six (6) courses are along the Western boundary of said 14.80 acre tract of land which meanders the centerline of the Kirkendall Drain; 1) thence South 02 degrees 31 minutes 09 seconds East 86.71 feet; 2) thence South 62 degrees 09 minutes 23 seconds East 51.86 feet; 3) thence South 30 degrees 24 minutes 58 seconds East 44.15 feet; 4) thence South 00 degrees 11 minutes 46 seconds West 95.58 feet; 5) thence South 16 degrees 16 minutes 35 seconds East 140.35 feet; 6) thence South 25 degrees 03 minutes 05 seconds East 16.77 feet to the currently (November 2006) proposed Northern right-of-way line for 148th Street (30-foot half right-of-way), the following Five (5) courses are along said proposed Northern right-of-way line; 1) thence South 52 degrees 13 minutes 32 seconds West 39.12 feet to the point of curvature of a curve to the right, said point

EXHIBIT A

Legal Description

(Page 2 of 3)

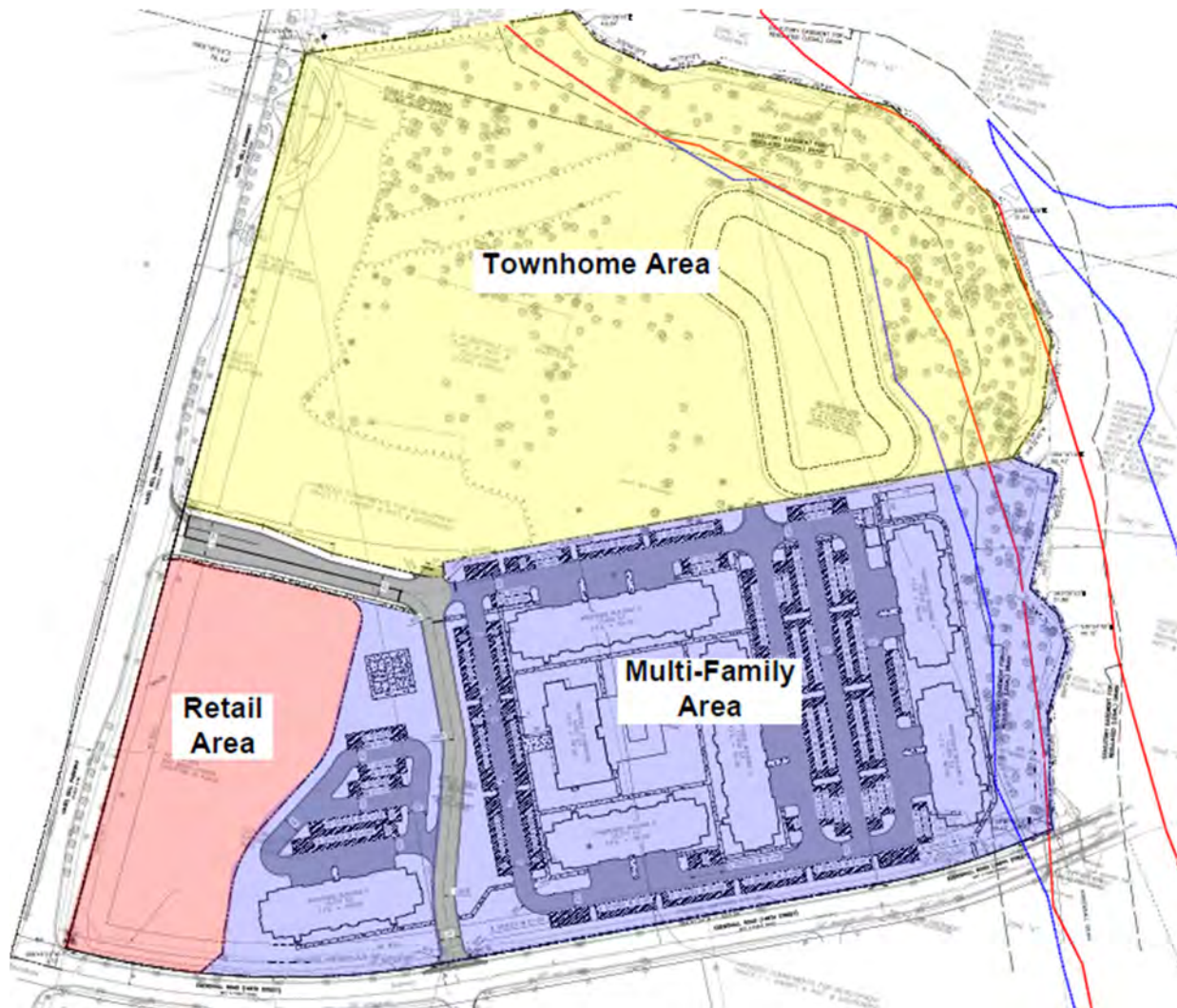
of curvature being South 37 degrees 46 minutes 28 seconds East 969.99 feet from the radius point of said curve; 2) thence Southwesterly 211.02 feet along said curve to its point of tangency, said point of tangency being South 25 degrees 18 minutes 36 seconds East 969.99 feet from the radius point of said curve; 3) thence South 64 degrees 41 minutes 24 seconds West 603.99 feet to the point of curvature of a curve to the right, said point of curvature being South 25 degrees 18 minutes 36 seconds East 1,170.00 feet from the radius point of said curve; 4) thence Southwesterly and Westerly 513.29 feet along said curve to its point of tangency, said point of tangency being South 00 degrees 10 minutes 25 seconds East 1,170.00 feet from the radius point of said curve; 5) thence South 89 degrees 49 minutes 23 seconds West 2.12 feet to a point being 70.00 feet from (Measured perpendicularly in an Easterly direction) the West line of said Southwest Quarter; thence North 00 degrees 00 minutes 00 seconds 1,259.87 feet parallel with the West line of said Southwest Quarter; thence North 00 degrees 10 minutes 04 seconds West 0.57 feet parallel with the West line of said Northwest Quarter to the point of beginning containing 31.066 acres, more or less.

EXHIBIT A

Depiction of Legal Description (Page 3 of 3)



EXHIBIT B
(LOCATION/AREA PLAN)



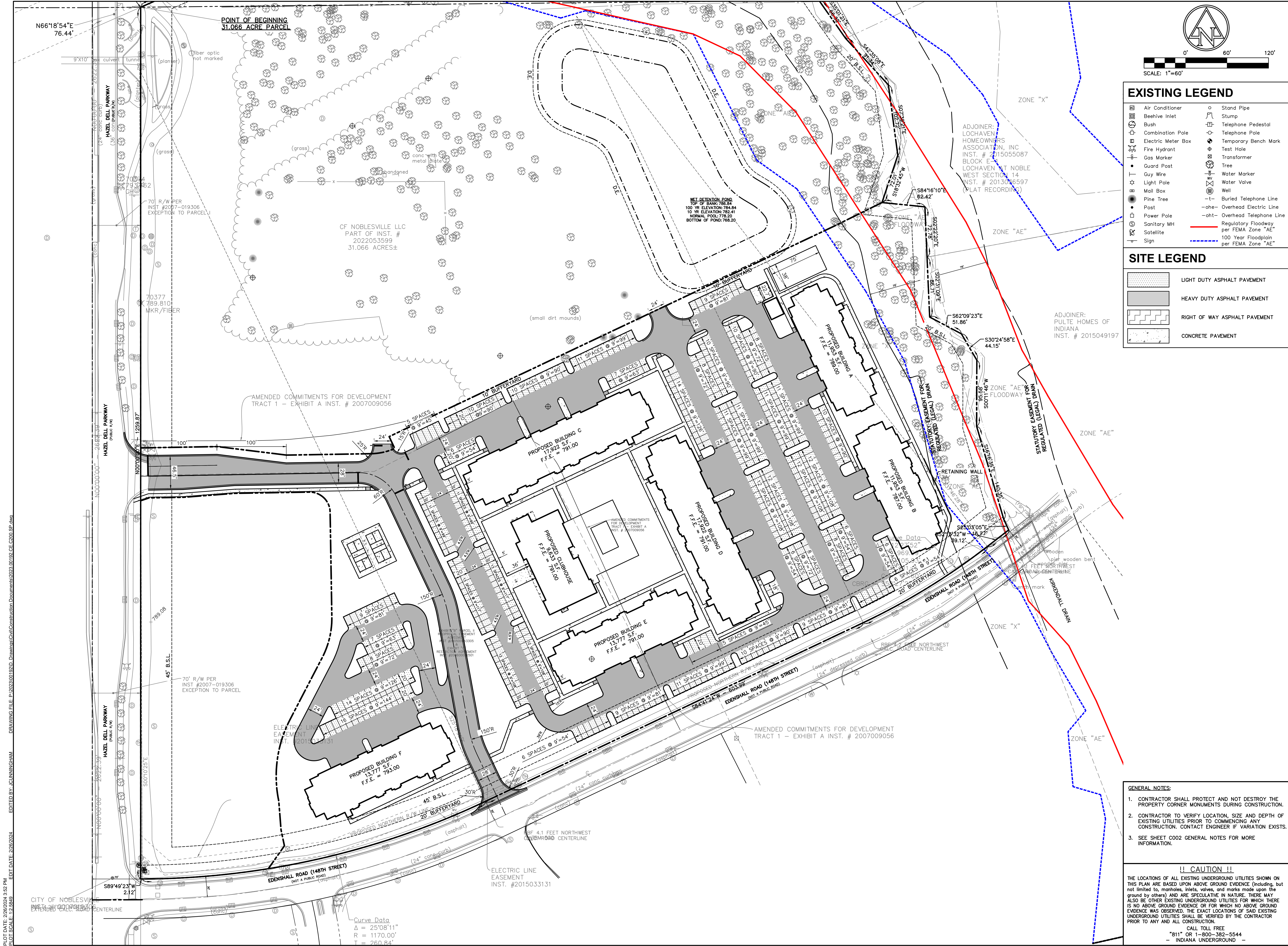
LEGEND

Yellow: Townhome Area
Red: Retail Area
Purple: Multi-Family Area

EXHIBIT C
(PRELIMINARY DEVELOPMENT PLAN)



- See following 4 pages (Engineered Preliminary Development Plan)



CITYSCAPE
RESIDENTIAL

CITYSCAPE
RESIDENTIAL

10 W. CARMEL DRIVE
SUITE 200
CARMEL, IN 46032

AMERICAN
STRUCTUREPOINT
INC.

9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

Noble West
Multi-Family
Development

15122 Hazel Dell Road
Noblesville, Indiana 46062

APPROVAL PENDING
NOT FOR CONSTRUCTION

IN SUBMITTING BIDS IN RELIANCE ON
THESE PLANS THE CONTRACTOR
ASSUMES ALL RISKS OF ADDITIONAL
COSTS OF REVISIONS DUE TO
REQUIREMENTS OF THE OWNER OR
GOVERNMENTAL AUTHORITIES AND
MATERIAL REVISIONS IN THE COURSE OF
COMPLETING THE FINAL DESIGN.

CERTIFIED BY

ISSUANCE INDEX

DATE:
2/26/2024

PROJECT PHASE:
PRELIMINARY DEVELOPMENT PLANS

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2023.00192

SITE PLAN

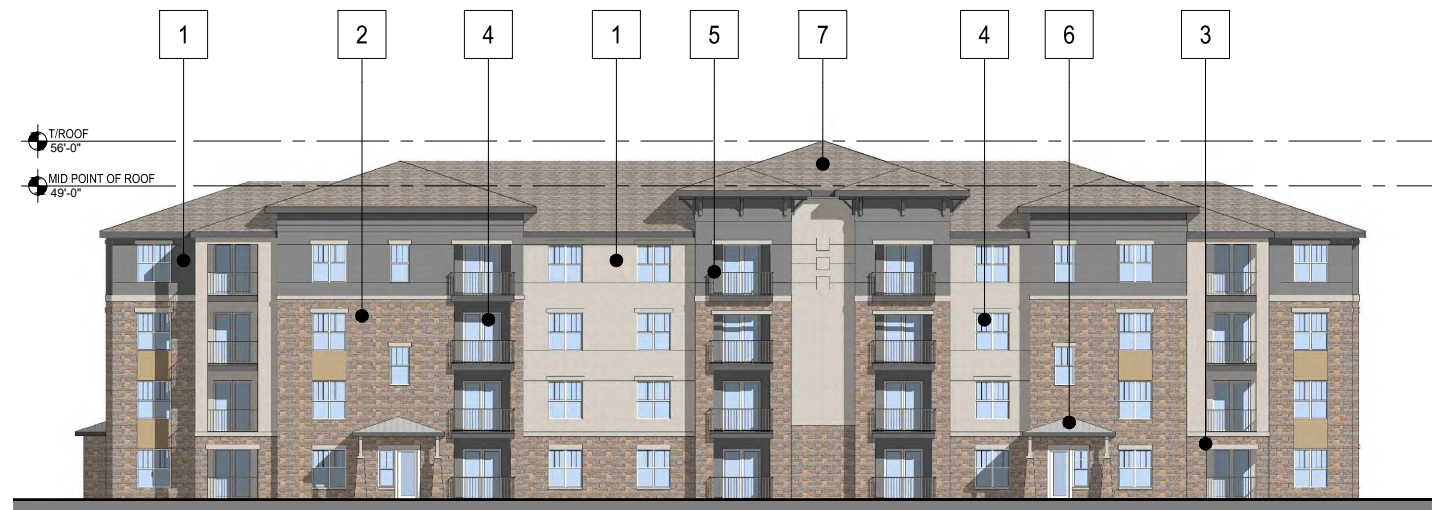
C200

PLOT DATE: 2/26/2024 3:42 PM
PLOT SCALE: 1"=60'
DRAWING FILE: P:\022030\0192\Drawings\Civil\Construction Documents\2023.00192_CE_C200.SP.dwg
EDIT DATE: 2/26/2024
EDITED BY: JCUNNINGHAM

EXHIBIT D

MULTI-FAMILY APPROVED ELEVATIONS

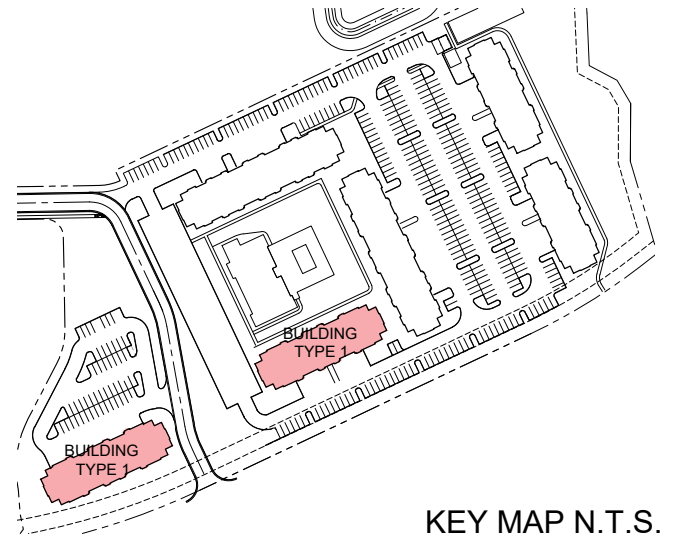
(See following 6 pages)



FRONT ELEVATION

SCALE: 1" = 30'

1



KEY MAP N.T.S.



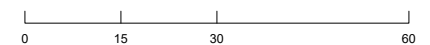
REAR (PARKING) ELEVATION

SCALE: 1" = 30'

2

MATERIAL LEGEND

1. EIFS
2. MASONRY
3. CAST STONE
4. VINYL WINDOWS & DOORS
5. METAL RAILING
6. METAL STANDING SEAM ROOF
7. ASPHALT SHINGLE ROOF
8. THRU WALL CONDENSING UNITS
9. GARAGE DOOR
10. POTENTIAL CONDENSER LOCATIONS



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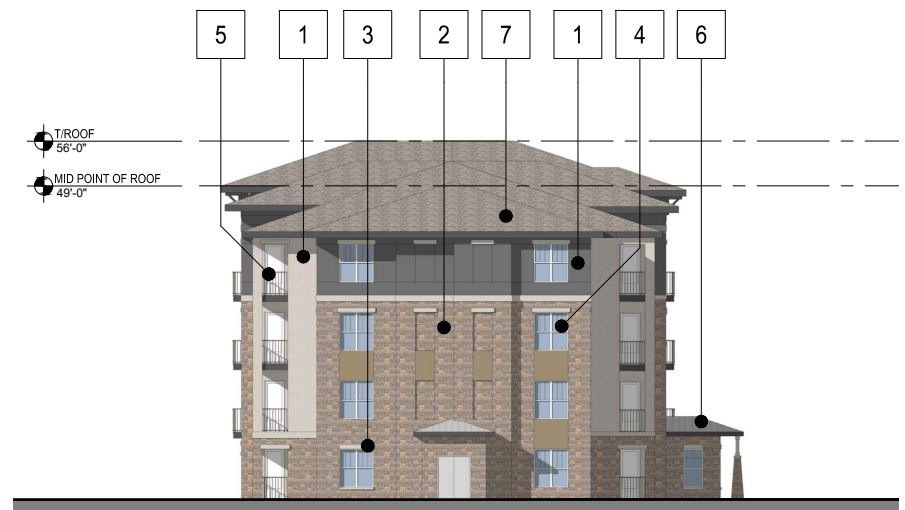


HAZEL DELL - SOUTH
NOBLESVILLE, IN # 2022-1103

CONCEPT DESIGN
JANUARY 5, 2024

ELEVATIONS
BUILDING TYPE 1 - 37 DU

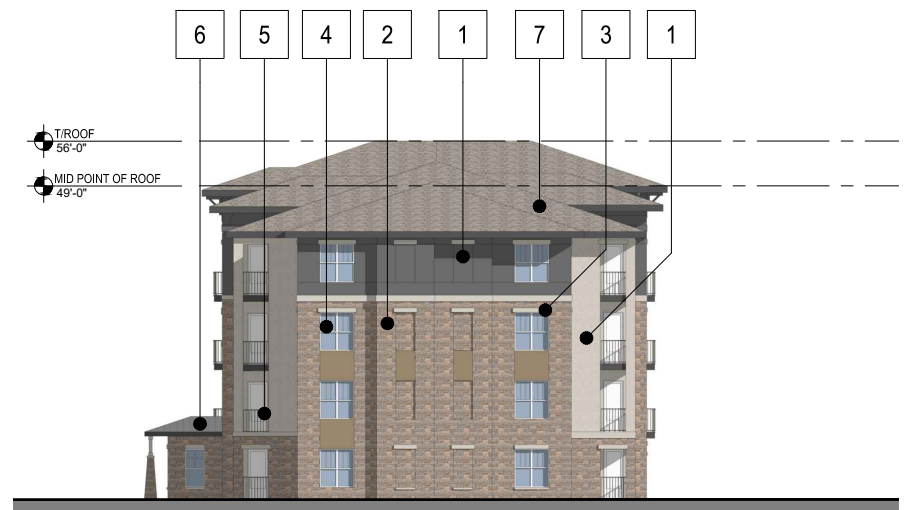
A3-0



LEFT SIDE ELEVATION

SCALE: 1" = 30'

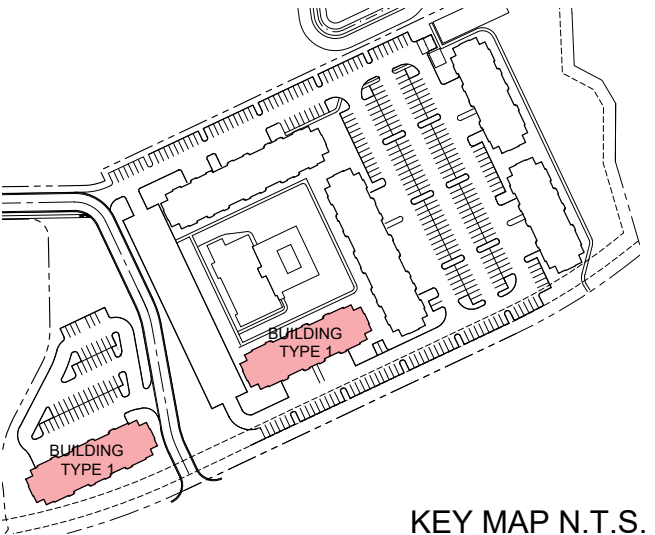
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RIGHT SIDE ELEVATION

SCALE: 1" = 30'

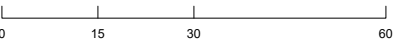
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KEY MAP N.T.S.

MATERIAL LEGEND

1. EIFS
2. MASONRY
3. CAST STONE
4. VINYL WINDOWS & DOORS
5. METAL RAILING
6. METAL STANDING SEAM ROOF
7. ASPHALT SHINGLE ROOF
8. THRU WALL CONDENSING UNITS
9. GARAGE DOOR
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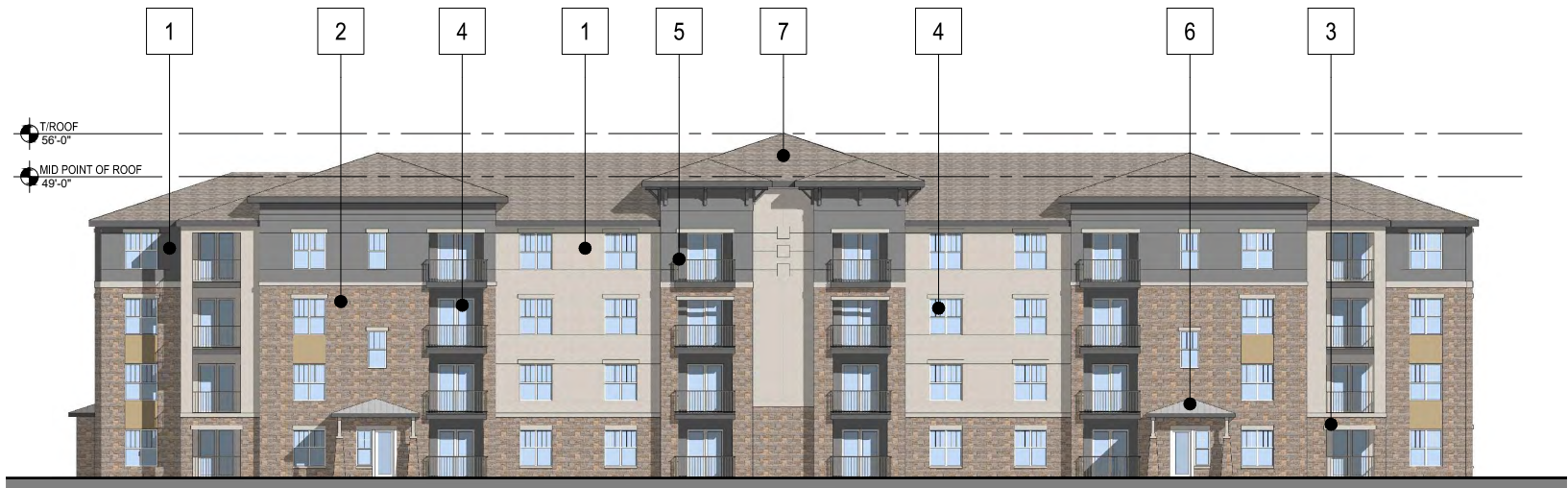


HAZEL DELL - SOUTH
NOBLESVILLE, IN # 2022-1103

CONCEPT DESIGN
JANUARY 5, 2024

ELEVATIONS
BUILDING TYPE 1 - 37 DU

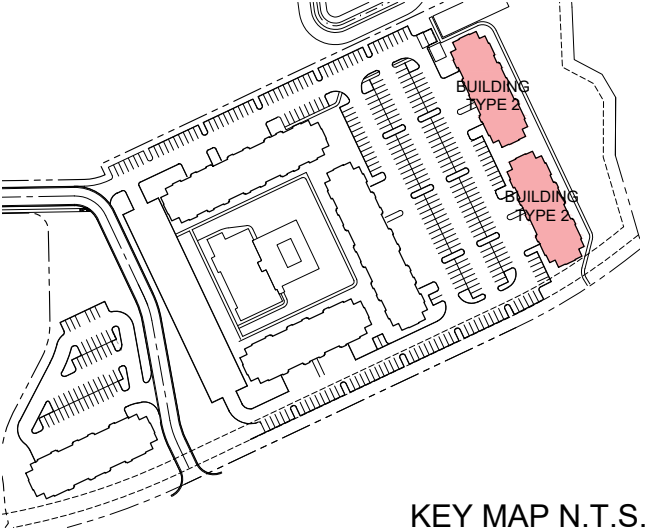
A3-1



FRONT ELEVATION

SCALE: 1" = 30'

1



KEY MAP N.T.S.



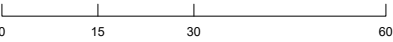
REAR (PARKING) ELEVATION

SCALE: 1" = 30'

2

MATERIAL LEGEND

- 1. EIFS
- 2. MASONRY
- 3. CAST STONE
- 4. VINYL WINDOWS & DOORS
- 5. METAL RAILING
- 6. METAL STANDING SEAM ROOF
- 7. ASPHALT SHINGLE ROOF
- 8. THRU WALL CONDENSING UNITS
- 9. GARAGE DOOR
- 10. POTENTIAL CONDENSER LOCATIONS



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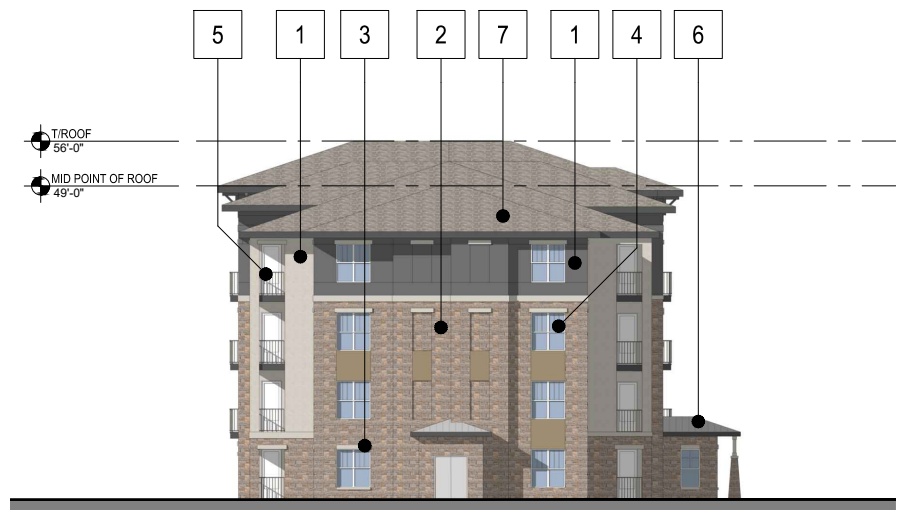


HAZEL DELL - SOUTH
NOBLESVILLE, IN # 2022-1103

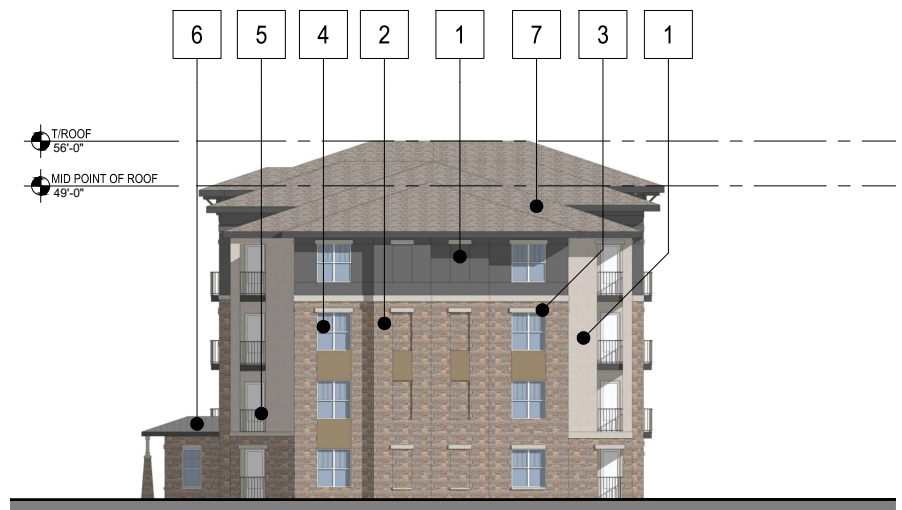
CONCEPT DESIGN
JANUARY 5, 2024

ELEVATIONS
BUILDING TYPE 2 - 44 DU

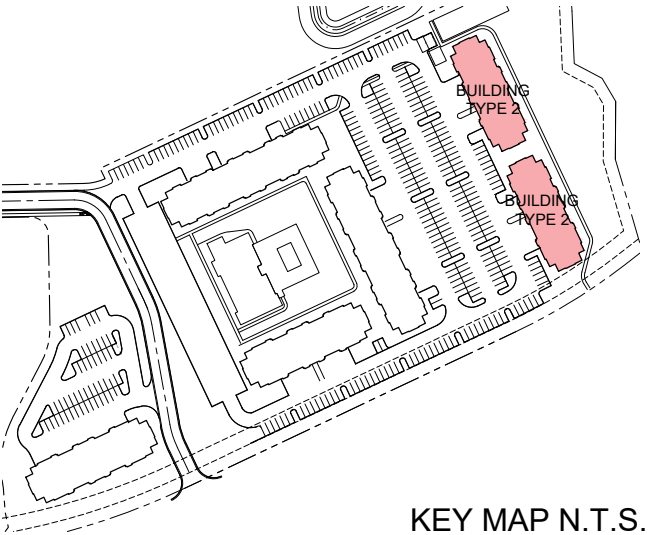
A3-2



LEFT SIDE ELEVATION	SCALE: 1" = 30'	1
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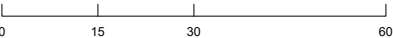
RIGHT SIDE ELEVATION	SCALE: 1" = 30'	2
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KEY MAP N.T.S.

MATERIAL LEGEND

- 1. EIFS
- 2. MASONRY
- 3. CAST STONE
- 4. VINYL WINDOWS & DOORS
- 5. METAL RAILING
- 6. METAL STANDING SEAM ROOF
- 7. ASPHALT SHINGLE ROOF
- 8. THRU WALL CONDENSING UNITS
- 9. GARAGE DOOR
- 10. POTENTIAL CONDENSER LOCATIONS



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HAZEL DELL - SOUTH
NOBLESVILLE, IN # 2022-1103

CONCEPT DESIGN
JANUARY 5, 2024

ELEVATIONS
BUILDING TYPE 2 - 44 DU

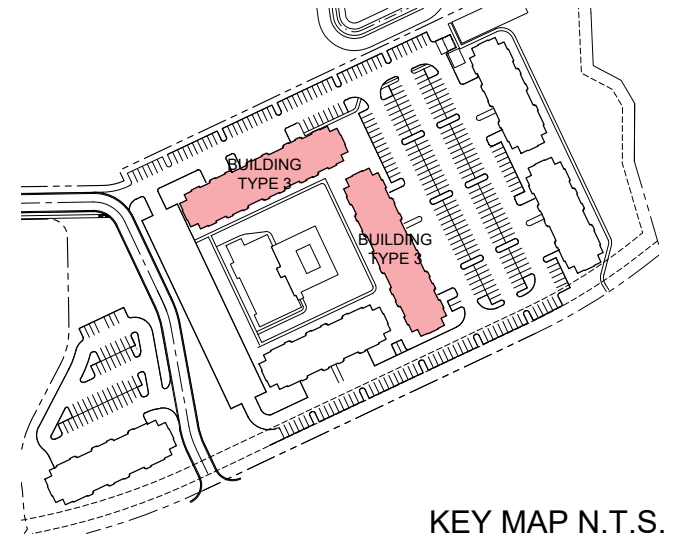
A3-3



FRONT ELEVATION

SCALE: 1" = 30'

1



KEY MAP N.T.S.



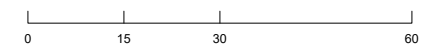
REAR (PARKING) ELEVATION

SCALE: 1" = 30'

2

MATERIAL LEGEND

1. EIFS
2. MASONRY
3. CAST STONE
4. VINYL WINDOWS & DOORS
5. METAL RAILING
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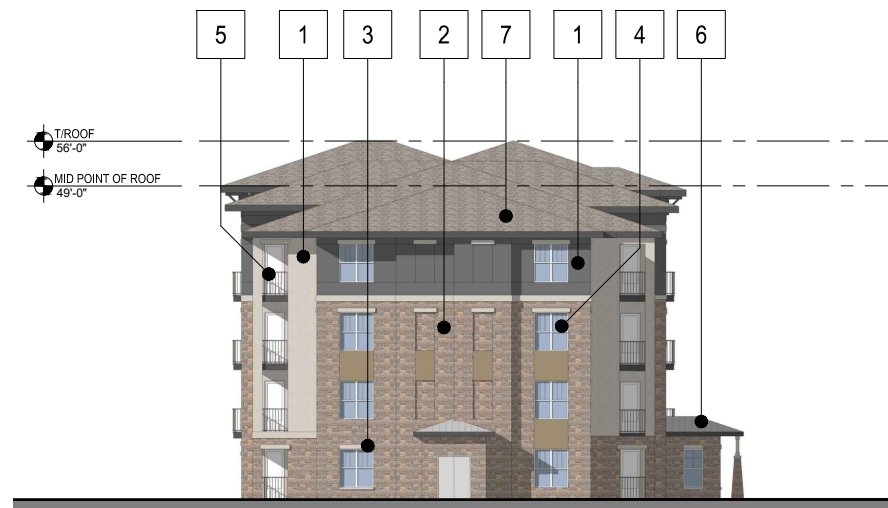


HAZEL DELL - SOUTH
NOBLESVILLE, IN # 2022-1103

CONCEPT DESIGN
JANUARY 5, 2024

ELEVATIONS
BUILDING TYPE 3 - 58 DU

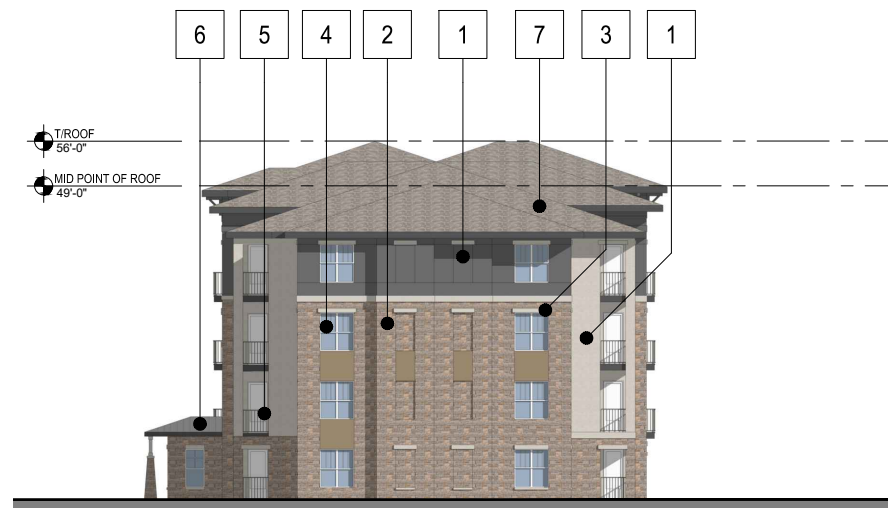
A3-4



LEFT SIDE ELEVATION

SCALE: 1" = 30'

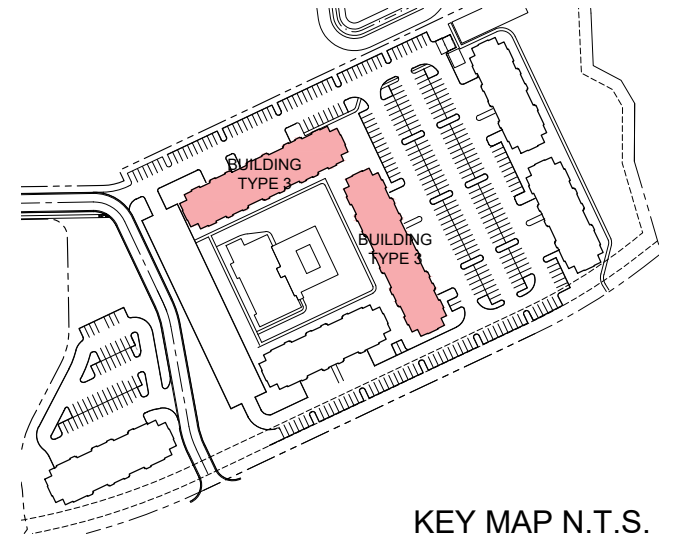
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RIGHT SIDE ELEVATION

SCALE: 1" = 30'

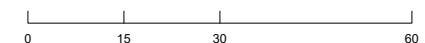
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KEY MAP N.T.S.

MATERIAL LEGEND

1. EIFS
2. MASONRY
3. CAST STONE
4. VINYL WINDOWS & DOORS
5. METAL RAILING
6. METAL STANDING SEAM ROOF
7. ASPHALT SHINGLE ROOF
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HAZEL DELL - SOUTH
NOBLESVILLE, IN # 2022-1103

CONCEPT DESIGN
JANUARY 5, 2024

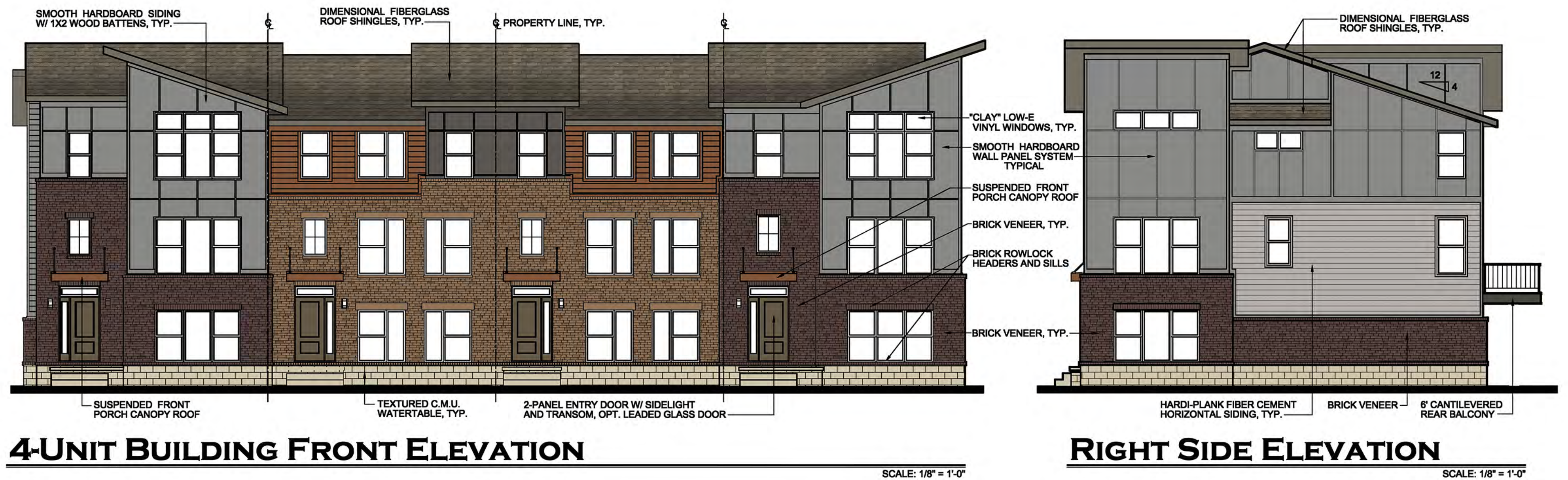
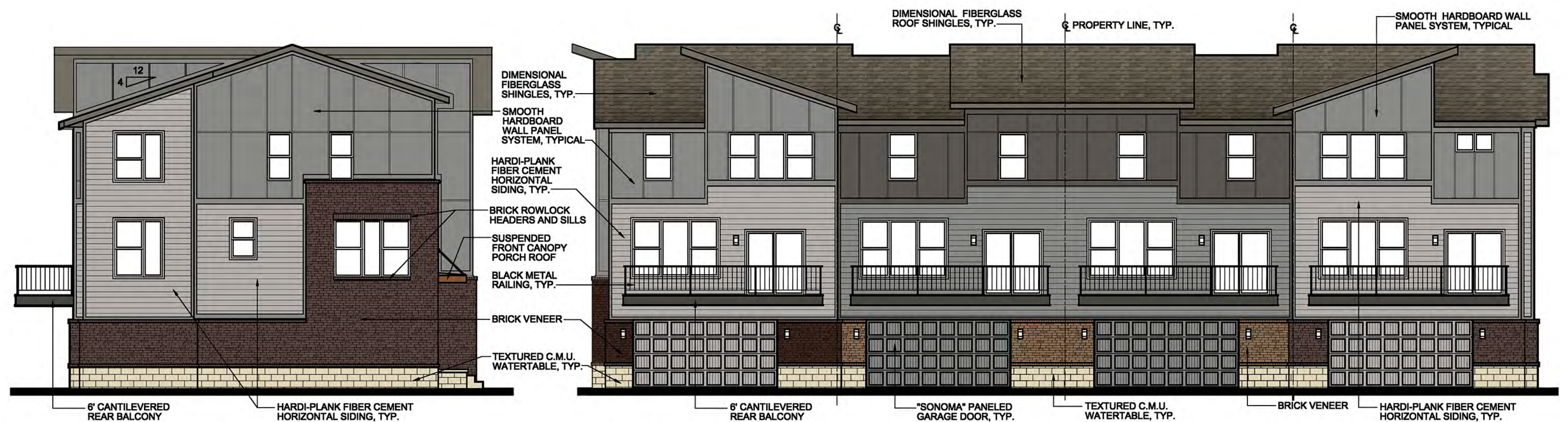
ELEVATIONS
BUILDING TYPE 3 - 58 DU

A3-5

EXHIBIT E

TOWNHOME ELEVATIONS AND PERSPECTIVES

(See following 16 pages)



PRELIMINARY ELEVATION DESIGN

116TH STREET TOWNHOMES - FISHERS

LENNAR
INDIANAPOLIS DIVISION



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

5-UNIT BUILDING REAR ELEVATION

SCALE: 1/8" = 1'-0"



5-UNIT BUILDING FRONT ELEVATION

SCALE: 1/8" = 1'-0"

RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

PRELIMINARY ELEVATION DESIGN

116TH STREET TOWNHOMES - FISHERS

LENNAR
INDIANAPOLIS DIVISION



6-UNIT BUILDING REAR ELEVATION

SCALE: 1/8" = 1'-0"



6-UNIT BUILDING FRONT ELEVATION

SCALE: 1/8" = 1'-0"

NOTE: SEE 4-UNIT AND 5-UNIT DRAWINGS FOR SIDE ELEVATIONS (SIMILAR)

PRELIMINARY ELEVATION DESIGN

116TH STREET TOWNHOMES - FISHERS

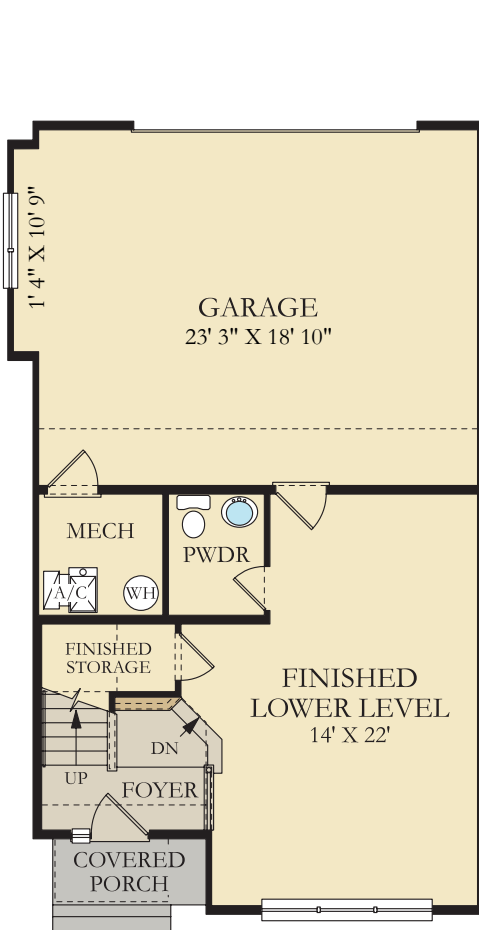
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116 Towns | Talbott

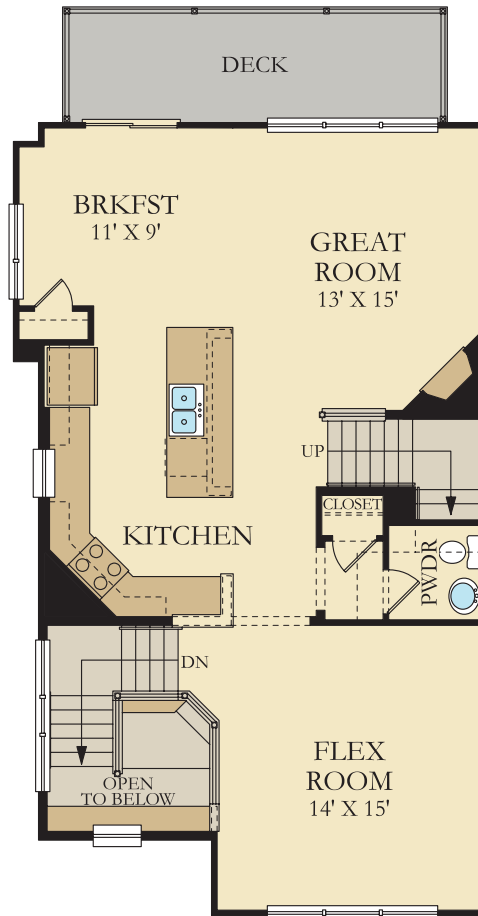


Elevation

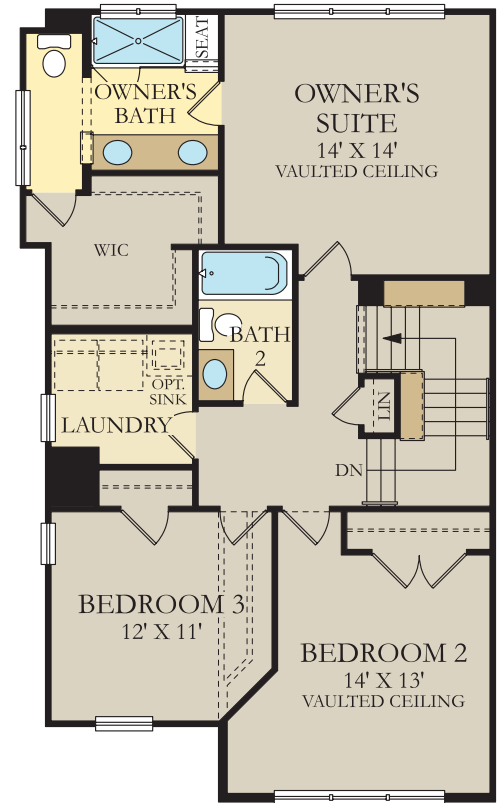
116 Towns | Talbott



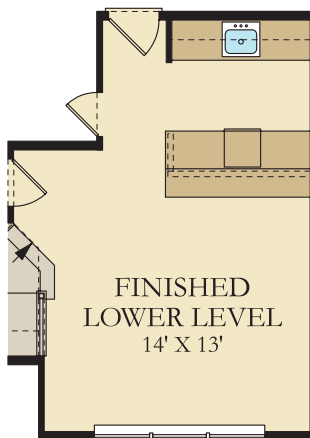
LOWER LEVEL



FIRST FLOOR



SECOND FLOOR



OPT. WET BAR



NO PLUMBING OR HVAC ROOF PENETRATIONS
SHALL BE LOCATED ON THE FRONT SIDE OF
ROOF RIDGE OR THROUGH F.R.T. ROOF DECKING

SEE TALBOTT AND MERIDIAN
INDIVIDUAL UNIT ELEVATIONS FOR
LEFT AND RIGHT SIDE ELEVATIONS

NOTE: 2-HR. FIRE-RATED CORE WALL
EXTENDS ALL THE WAY UP TO THE
UNDERSIDE OF F.R.T. ROOF DECKING

2-HR FIRE-RATED CORE WALL EXTENDS OUT TO FURTHEST WALL AT PLAN OFFSET CONDITIONS BETWEEN UNITS AT FIRE-SEPARATION LINE (PROPERTY LINE) AT FRONT AND REAR OF BUILDING. SEE STANDARD DETAIL 03, SHEET D-2)



Architectural elevation drawing of the front facade of a two-story building. The drawing includes the following elements:

- Dimensions and Level Markers (Left Side):**
 - 8'-1 1/2" (Top of Plate)
 - UPPER FLR. HT.
 - 8'-1 1/2" (Top of Plate)
 - MAIN FLR.
 - TO. PL.
 - 8'-1 1/2" (Top of Slab)
- Roof and Upper Floor:**
 - Gabled roof with a central vertical line labeled "C".
 - Upper floor features large multi-paned windows and a balcony with a railing.
- Main Floor:**
 - Main floor features large multi-paned windows and a balcony with a railing.
- Ground Floor:**
 - Ground floor features a brick base, large multi-paned windows, and a central entrance area.
- Other Labels:**
 - Top right corner: "G. OF PARTYWALL / PROPERTY LINE (TYPICAL)" with an arrow pointing to the center line.

MERIDIAN A
 TALBOTT A

2-UNIT BUILDING REAR ELEVATION

Architectural elevation drawing of a three-unit townhouse building. The drawing shows a symmetrical facade with brickwork on the lower floors and large multi-paned windows above. Key features include a central entrance with a small porch, side entrances, and a flat roof with a central parapet. Vertical dimensions on the left indicate floor heights: 8'-1 1/8" from the top of the slab to the main floor, 9'-1 1/8" from the main floor to the upper floor, and 8'-1 1/8" from the upper floor to the top of the plate. A horizontal dimension on the right indicates a total width of 36'-0 1/2" +/-.

2-UNIT BUILDING FRONT ELEVATION

INDIANAPOLIS DIVISION

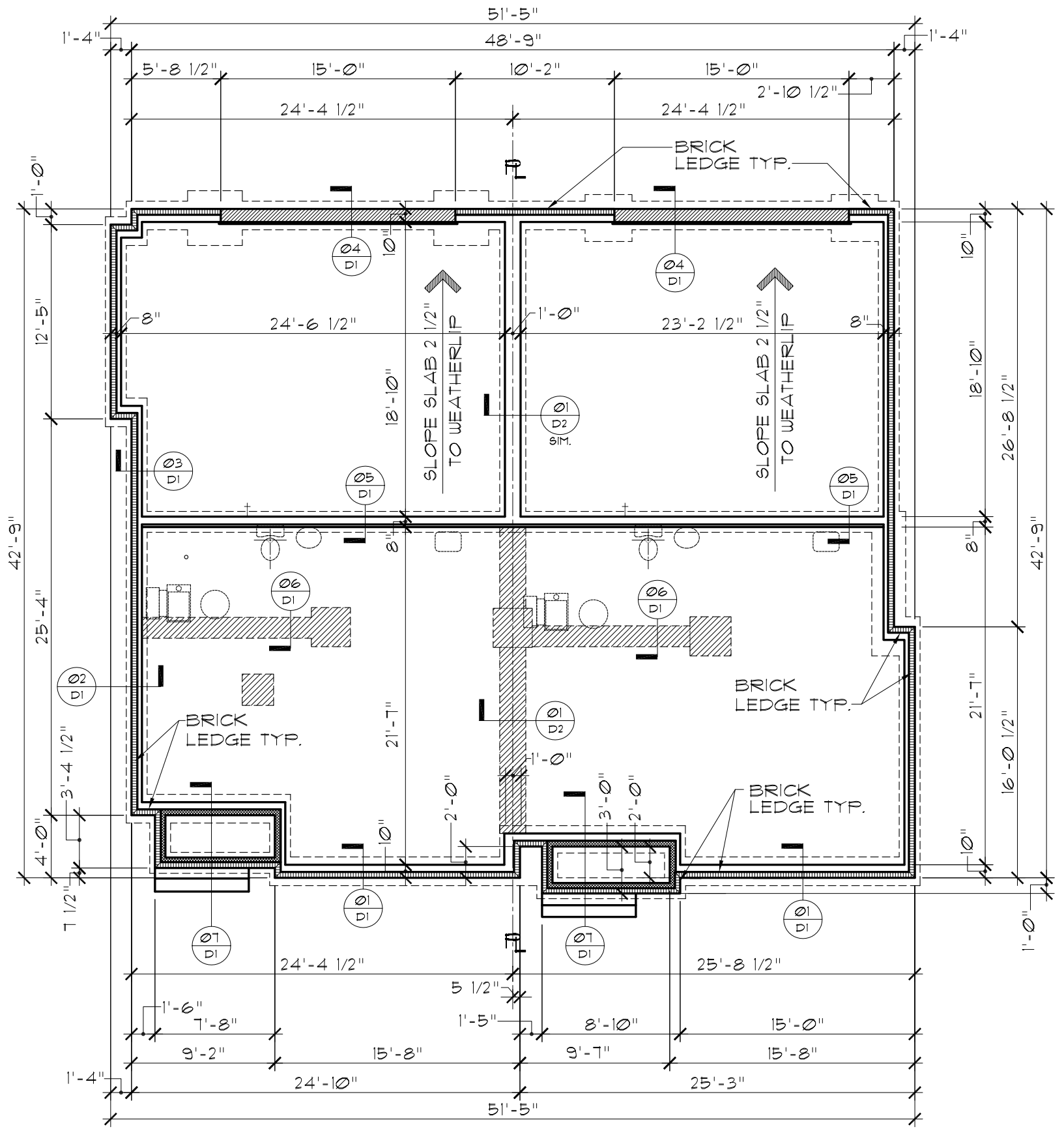


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LENNAR	
MODEL	
2-UNIT BUILDING	SET NO.
DRAWING TITLE	
CONTROL ELEV.'S, ROOF	
OPTION DESCRIPTION	DRAWN BY SAM
	COLLECTION
	TOWNHOMES

C1-2



TALBOTT A MERIDIAN A

CONTROL FOUNDATION PLAN 2-UNIT BUILDING

SCALE: 1/8" = 1'-0"

INDIANAPOLIS DIVISION



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LENNAR

MODEL 2-UNIT BUILDING

DRAWING TITLE CONTROL FNDTN. PLAN

OPTION DESCRIPTION SAXONY AND 116 TOWNHOMES

SET NO.

DRAWN BY SAM

COLLECTION TOWNHOMES

SHEET NO. C2-3

NOTE:
NO PLUMBING OR HVAC ROOF PENETRATIONS SHALL BE LOCATED ON THE FRONT SIDE OF ROOF RIDGE OR THROUGH F.R.T. ROOF DECKING

NOTE:
SEE TALBOTT AND MERIDIAN INDIVIDUAL UNIT ELEVATIONS FOR LEFT AND RIGHT SIDE ELEVATIONS

NOTE:
NOTE: 2-HR. FIRE-RATED CORE WALL EXTENDS ALL THE WAY UP TO THE UNDERSIDE OF F.R.T. ROOF DECKING

NOTE:
2-HR. FIRE-RATED CORE WALL EXTENDS OUT TO FURTHEST WALL AT PLAN OFFSET CONDITIONS BETWEEN UNITS AT FIRE-SEPARATION LINE (PROPERTY LINE) AT FRONT AND REAR OF BUILDING. SEE STANDARD DETAIL 03, SHEET D-2)

NOTE:
BUILDING CONTROL ELEVATIONS ARE PROVIDED TO DEPICT GENERAL BUILDING CONFIGURATION ONLY. SEE INDIVIDUAL UNIT PLAN AND ELEVATION DRAWINGS, WHICH SUPERSEDE ANY INFORMATION SHOWN ON CONTROL ELEVATIONS.

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MODEL	SET NO.	DRAWN BY	COLLECTION	TOWNHOMES
3-UNIT BUILDING		SAM		
DRAWING TITLE	OPTION DESCRIPTION			
CONTROL ELEVATIONS	SAXONY AND 116 TOWNHOMES			

SHEET NO.

C1-3



MERIDIAN A MADISON C TALBOTT A
3-UNIT BUILDING REAR ELEVATION

SCALE: 3/32" = 1'-0"



TALBOTT A MADISON C MERIDIAN A

3-UNIT BUILDING FRONT ELEVATION

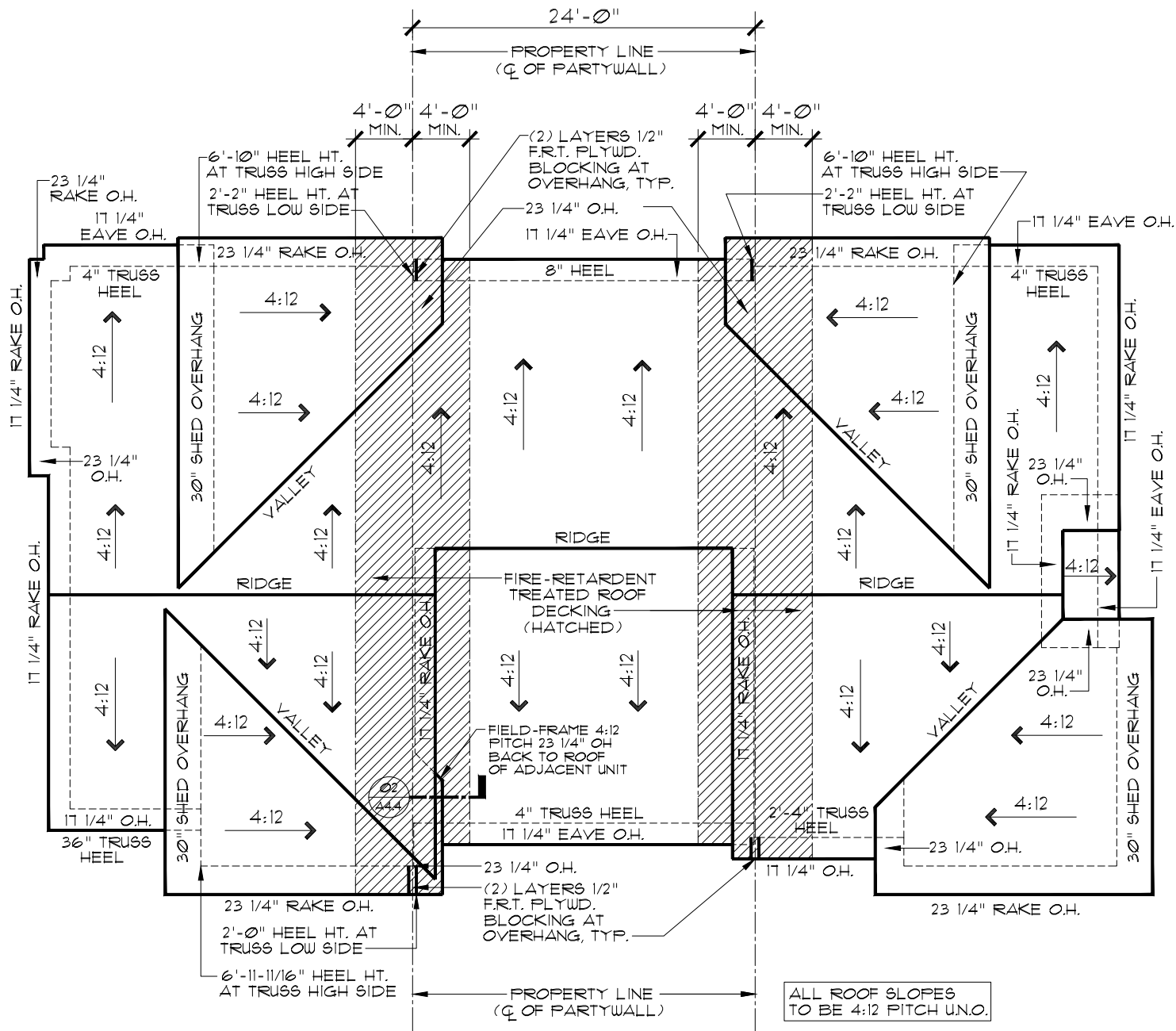
SCALE: 3/32" = 1'-0"

NOTE:
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NOTE:
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TALBOTT A MADISON C MERIDIAN A
3-UNIT BUILDING ROOF PLAN

SCALE: 3/32" = 1'-0"

INDIANAPOLIS DIVISION



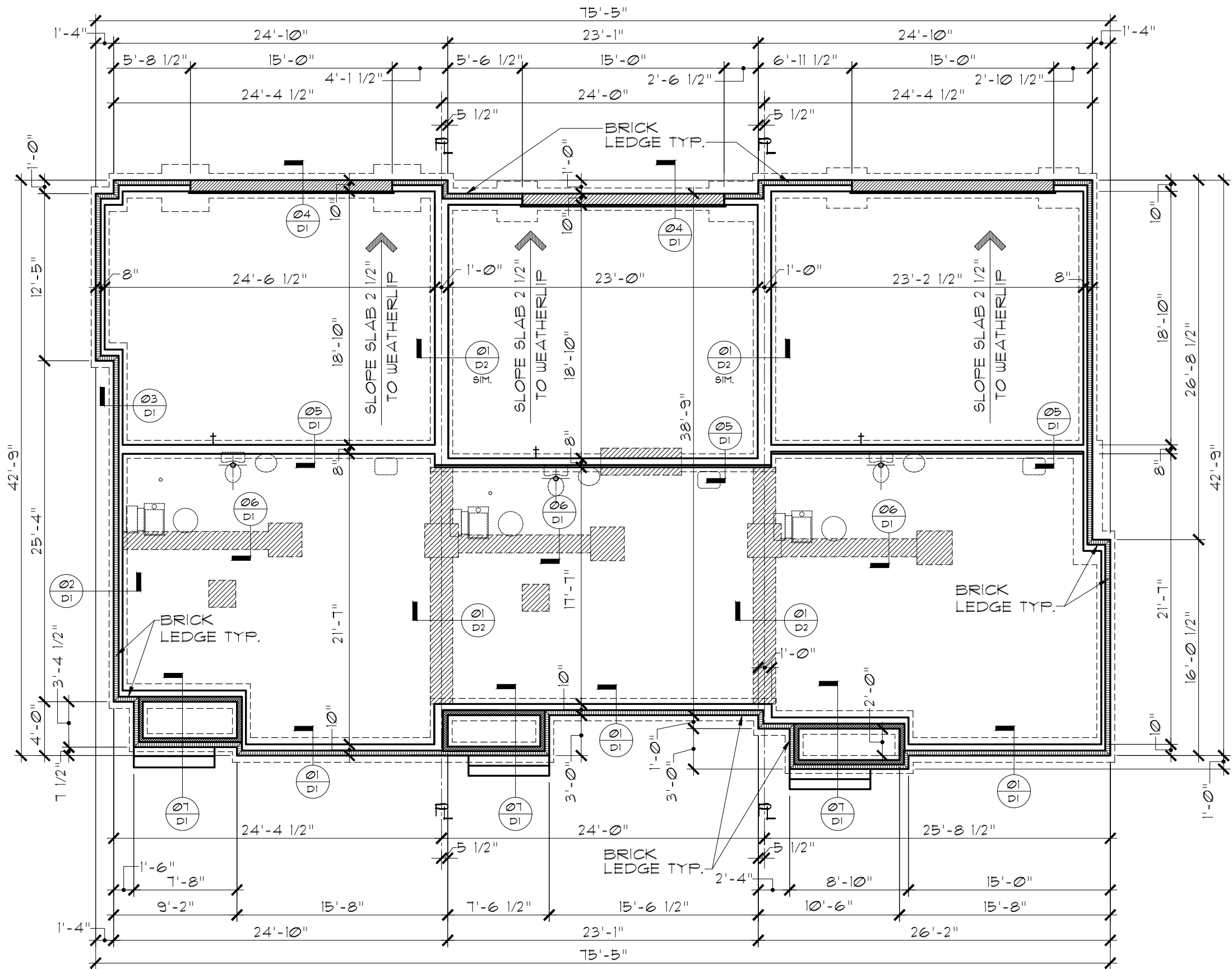
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MODEL	SET NO.	DRAWN BY	COLLECTION	TOWNHOMES
3-UNIT BUILDING		SAM		
DRAWING TITLE				
CONTROL ROOF PLAN				
OPTION DESCRIPTION				
SAXONY AND 116 TOWNHOMES				

SHEET NO.

C2-3



TALBOTT A MADISON C MERIDIAN A

CONTROL FOUNDATION PLAN **3-UNIT BUILDING**

SCALE: 1/8" = 1'-0"



3-UNIT BUILDING

CONTROL FNDTN. PLAN

SAXONY AND 116 TOWNHOMES

SET NO.

DRAWN BY
SAM

COLLECTION
TOWNHOMES

SHEET NO.

C3-3

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NOTE:
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NOTE:
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NOTE:
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MERIDIAN A MADISON B MADISON A TALBOTT A
4-UNIT BUILDING REAR ELEVATION

SCALE: 3/32" = 1'-0"



TALBOTT A MADISON A MADISON B MERIDIAN A

4-UNIT BUILDING FRONT ELEVATION

SCALE: 3/32" = 1'-0"

LENNAR

MODEL	SET NO.	DRAWN BY	COLLECTION	TOWNHOMES
4-UNIT BUILDING		SAM		
DRAWING TITLE				
CONTROL ELEVATIONS				
OPTION DESCRIPTION				
SAXONY AND 116 TOWNHOMES				

SHEET NO.

C1-4

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NOTE:
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NOTE:
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MERIDIAN A

MADISON C

MADISON D

MADISON C

TALBOTT A

5-UNIT BUILDING REAR ELEVATION

SCALE: 3/32" = 1'-0"



TALBOTT A

MADISON C

MADISON D

MADISON C

MERIDIAN A

5-UNIT BUILDING FRONT ELEVATION

SCALE: 3/32" = 1'-0"

LENNAR

MODEL	SET NO.	DRAWN BY	COLLECTION	TOWNHOMES
5-UNIT BUILDING		SAM		
DRAWING TITLE				
CONTROL ELEVATIONS				
OPTION DESCRIPTION				
SAXONY AND 116 TOWNHOMES				

SHEET NO.

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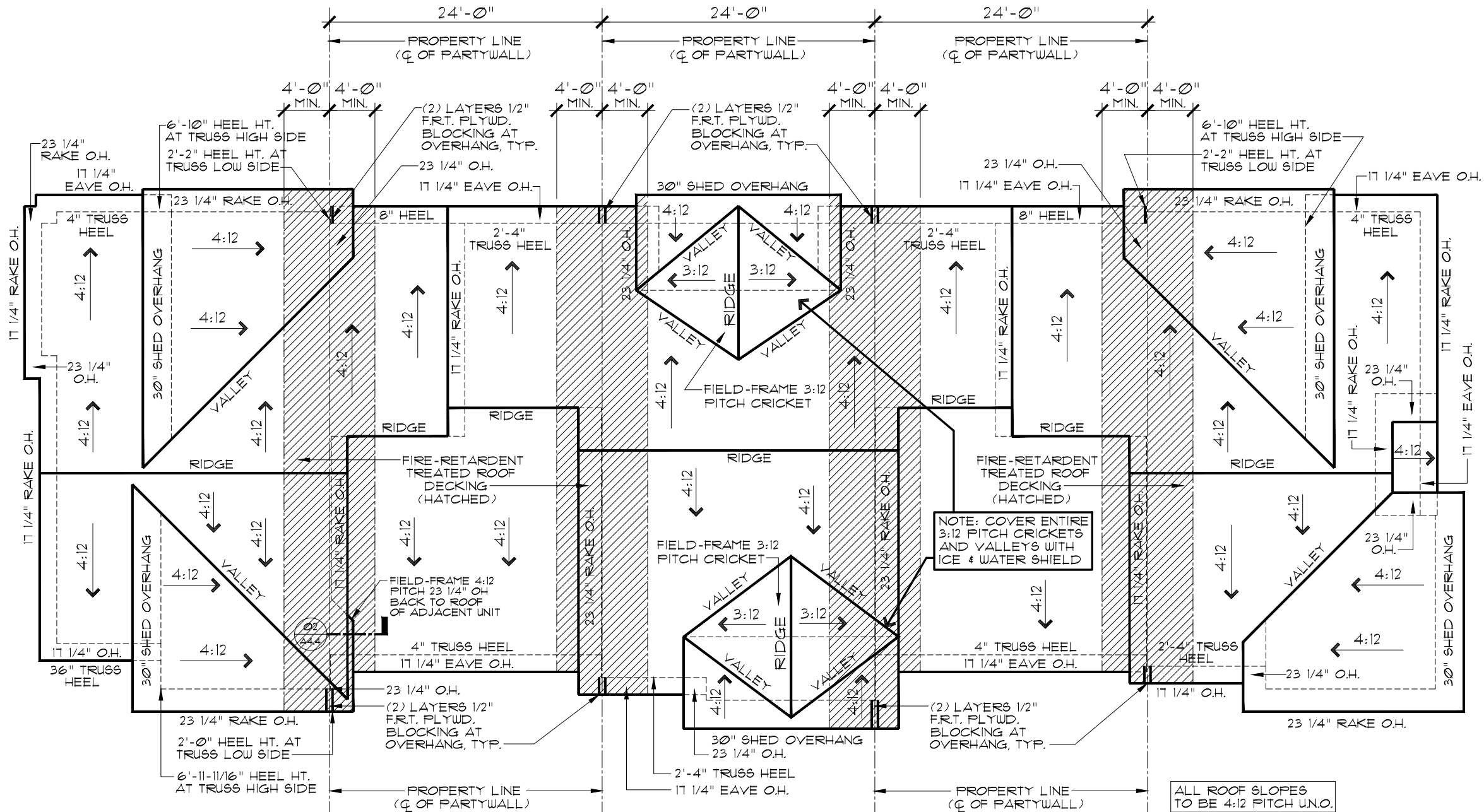
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EVERYTHING'S INCLUDED*



TALBOTT A MADISON C MADISON D MADISON C MERIDIAN A
5-UNIT BUILDING ROOF PLAN

SCALE: 3/32" = 1'-0"

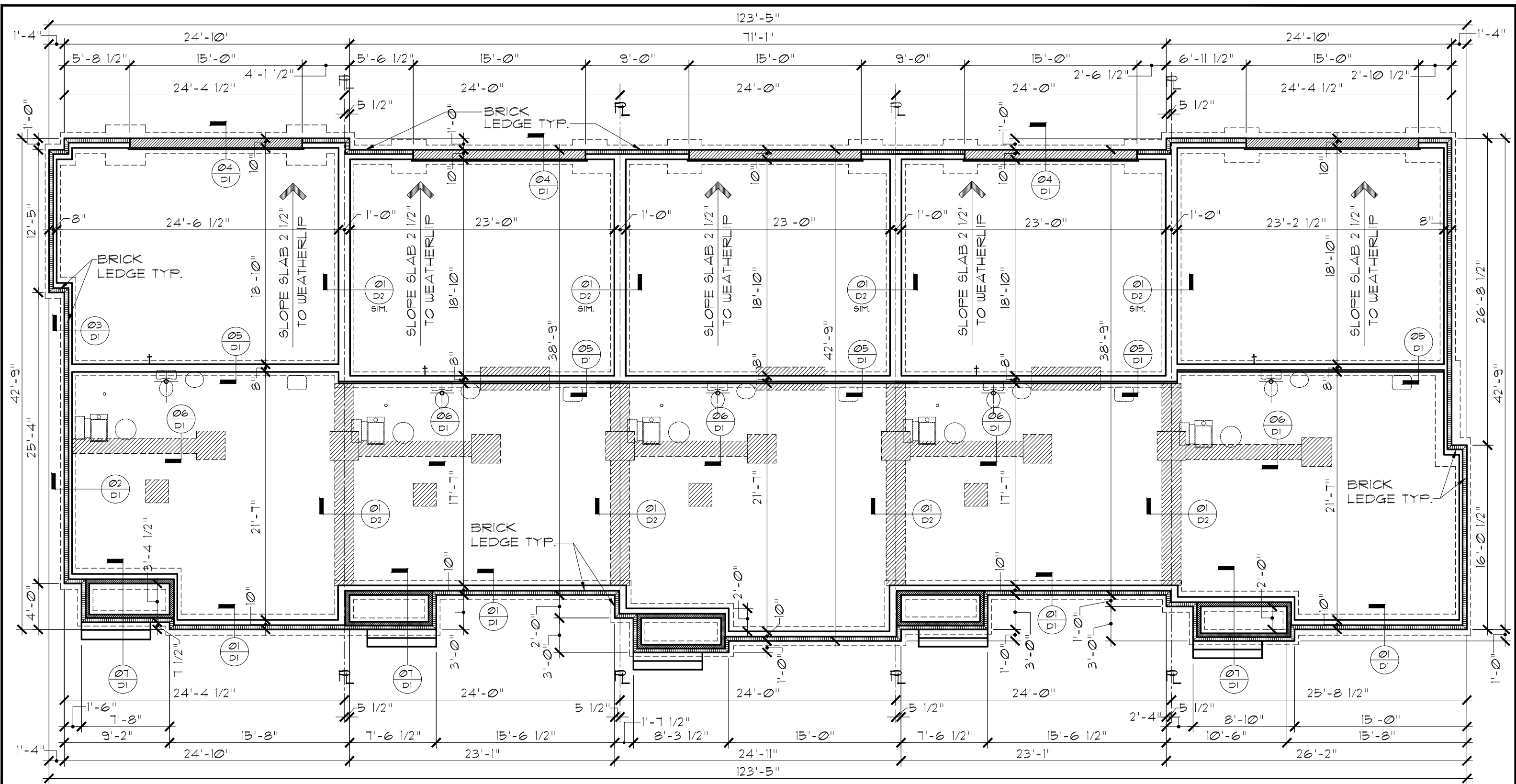
LENNAR	
MODEL	SET NO.
5-UNIT BUILDING	
DRAWING TITLE	
CONTROL ROOF PLAN	
	DRAWN BY SAM
OPTION DESCRIPTION	COLLECTION
SAXONY AND 116 TOWNHOMES	TOWNHOMES

SHEET NO.

C2-5

REMARKS	RE-ISSUE FOR SAXONY AND 116 TOWNS				
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TALBOTT A

MADISON C

MADISON D

MADISON C

MERIDIAN A

5-UNIT BUILDING CONTROL FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

INDIANAPOLIS DIVISION

C3-15
SHEET NO.

LENNAR		
MODEL	5-UNIT BUILDING	SET NO.
DRAWING TITLE	CONTROL FNDTN. PLAN	DRAWN BY SAM
OPTION DESCRIPTION	SAXONY AND 116 TOWNHOMES	COLLECTION TOWNHOMES

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EXHIBIT F **MULTI-FAMILY SIGN LOCATIONS**

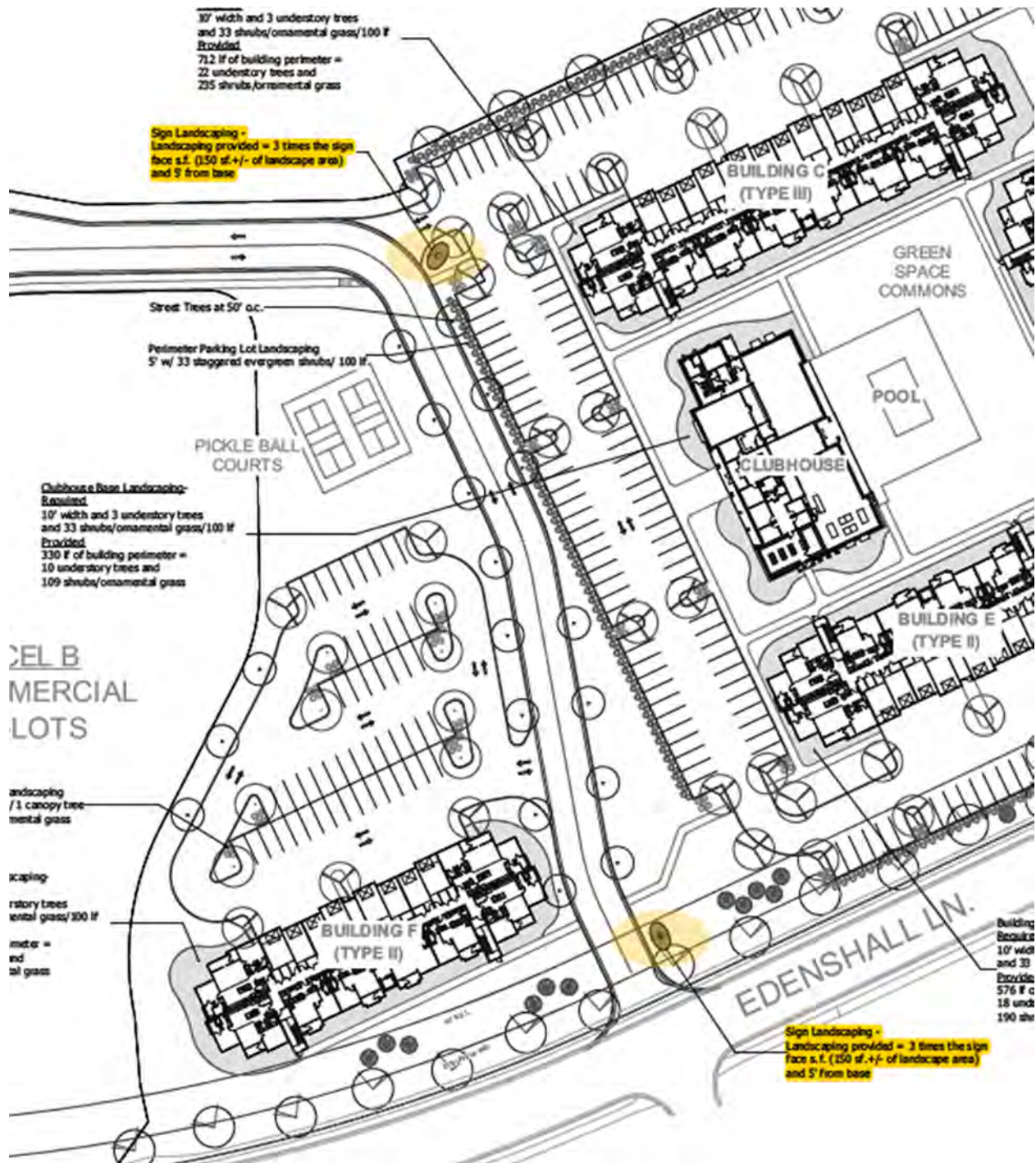


EXHIBIT G

COMMERCIAL ARCHITECTURAL BUILDING REQUIREMENTS

(See following 3 pages)

RETAIL COMMERCIAL
ARCHITECTURAL BUILDING REQUIREMENTS

GENERAL DESIGN GOALS

The development of the commercial retail within Noble West is to reinforce the establishment of a mixed-use area that provides a special retail focal point and promotes pedestrian activity within the neighborhood and the community. The buildings should offer attractive and inviting pedestrian scale features, spaces and amenities. The features and spaces should enhance the neighborhood retail component as a central, integral part of the Master Planned Community.

In order to add architectural interest and variety and avoid the effect of a single, long or massive wall with no relation to human size, the following general standards shall apply:

- 1a. On buildings along Hazel Dell Parkway or 146th Street, no wall that faces either of these two streets shall have a blank, uninterrupted length exceeding thirty (30) feet without including one of the following: change in plane, change in height, change in texture or masonry pattern; doors, windows, faux windows, trellis' with vines, or an equivalent element that subdivides the wall into human scale proportions.
- 1b. On all other exterior walls along a designated walkway, there shall not be a blank, uninterrupted length of wall that exceeds eighty-five (85) feet without including one (1) of the following: change in plane, change in height, change in texture or masonry pattern; doors, windows, faux windows, trellis' with vines, or an equivalent element that subdivides the wall into human scale proportions.
2. Side or rear walls along designated walkways may incorporate the use of false windows and door openings defined by frames, sills and lintels, or similarly proportioned modulations of the wall to break up the facade to meet the above mentioned requirements.
3. All sides of the building shall include design characteristics perceived to be generally consistent with those on the front. Buildings along Hazel Dell Parkway or 146th Street, shall have side and rear facades that are of the same materials and similarly detailed as the front elevation.
4. Buildings along Hazel Dell Parkway or 146th Street shall appear as one and one-half (1 ½) stories from the front and sides. The minimum height for the front facade of any building (facing either Hazel Dell Parkway or 146th Street) shall be twenty (20) feet, either at the roofline or at the top of the parapet wall. Minimum heights for other sides of the buildings shall be eighteen (18) feet, either at the roofline or at the top of the parapet wall.
5. The appearance of finished space above the retail first floor is required on the main building accenting the corner shop (see plan). The nighttime illumination of architectural

features, specifically windows, with the use of decorative lights that are consistent with the architectural character is required.

BUILDING BASE, BODY, AND CAP

All architectural elevations of principal buildings shall consist of a base, a body, and a cap.

Base: Building materials that are used to accentuate the transition from grade to a height consistent with requirements in this section. (For instance, materials different from those used in the body of the building – like textured concrete masonry. Or designs to accentuate materials used in the body of the building – like brick rowlocks or soldier courses.)

Body: Building materials and designs that make up the main proportion of the building (should be approximately 80% of the vertical height of the facade, but will vary in relationship to overall design character of each individual building).

Cap: Building materials that are used to accentuate the transition from the body to the top of the building, consistent with the requirements in this section. (For instance, a cornice, crown mold, eave or a sloped roof structure designs.)

1. The base shall occupy the lowest portion of the elevation, and shall have a height no less than five percent (5%) of the average wall height.
2. The body shall occupy the middle portion of the elevation, and shall have a height no less than fifty percent (50%) of the average wall height.
3. The cap shall occupy the highest portion of the elevation, excluding the roof, and shall have a height no less than five percent (5%) of the average wall height.
4. The cap shall consist of at least one of the following architectural features: a cornice, parapet, awning, canopy, sloped roof or eaves.
5. The base and cap shall be clearly distinguishable from the body through changes in color, material, pattern, profile, or texture.

MATERIALS

Predominant exterior building materials must be of high quality, and be aesthetically pleasing and compatible with materials used in adjoining neighborhoods within and outside of the Master Planned Community. The following are permitted:

1. Building Body: Wood, brick, architectural cast stone, Quick-Brick (rear wall elevations only), EIFS (Synthetic Stucco) decorative tiles, and limestone shall be permitted as siding materials for the body of the building.

2. Building Base: Brick, architectural cast stone, limestone or textured concrete masonry units (Quick-Brick or Split Faced Units) shall be permitted as base finish materials.

The following body materials which are considered inappropriate may be permitted with the specific approval by the Planning Director on a case-by-case basis:

- a) Siding that imitates wood lap siding such as aluminum or vinyl siding,
- b) Sheet metal, corrugated metal, or other similar metal panels,
- c) Poured concrete, tilt-up concrete panels, panels with an aggregate surface, or other similar concrete siding.

3. Building Cap: Brick, architectural cast stone, limestone, textured concrete block, wood, metal coping or applied materials such as EIFS (Synthetic Stucco) or other synthetic materials (i.e. "Typon") are examples of materials permitted for the building cap. Materials not specifically mentioned may also be permitted with the specific approval of the Planning Director.

FAÇADE COLORS

The use of low reflectance, subtle, red brick, or earth tone colors as the predominant colors on the façade is generally acceptable. The use of high intensity colors, metallic colors, fluorescent colors or Black as the predominant façade color would have to be reviewed by the Planning Director on a case-by-case basis. However, building trim and accent areas may feature Black or brighter colors, including primary colors, but the use of neon tubing as a feature for building trim or accent area is not permitted.

ROOFS

In order to reduce the massive size of large structures, flat roofs should be enhanced through the utilization of parapets. The roof treatment should harmonize with the character of the surrounding residential neighborhoods and with the designs of the buildings adjacent to the structure. Building walls, parapets, and/or roof systems shall be designed to conceal all roof-mounted mechanical equipment from view to 146th Street.

1. Permitted roof styles shall include gable, mansard, and hip roofs. Flat roofs are permitted if sufficiently disguised through the use of parapet walls. Other roof styles shall require specific approval by the Planning Director on a case-by-case basis.
2. The height of any pitched roof shall not exceed one-half (1/2) of the overall building height.

3. Permitted materials for pitched roofs include wood, slate, fiberglass reinforced asphalt 3-D roof shingles, and standing seam or terne metal. Other roof materials shall require specific approval by the Planning Director on a case-by-case basis.

4. Flat canopies (such as those associated with convenience stores with gasoline sales) must be designed in such a manner to create a strong association with the building itself.

ADDITIONAL OUTLOT BUILDINGS GUIDELINES

Retail buildings with less than 8,000 leasable square feet should be oriented closer to Hazel Dell Parkway or 146th Street, subject to a 75' building setback line as measured from the improved rights-of-way.

Sidewalks areas in front of buildings should be no less than 5-feet in width. The use of specialty paving as an accent paving materials for cross-overs to connect sidewalks to the walk-ways along Hazel Dell Parkway and 146th Street is permitted and encouraged.

LANDSCAPING

Landscaping requirements shall conform to the overall City of Noblesville standards. Designs will be determined and shall be submitted to the Staff and Planning Director for their review and approval prior to construction.

AMENITIES

The development of the commercial retail must include the publicly accessible outdoor space as shown on the Site Development Plan. This pavilion shall be connected to the other pedestrian walkways within Noble West.

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EXHIBIT H
TREE PRESERVATION PLAN

