

**2025022985 ORDINANCE 25.00
06/11/2025 03:23 PM 63 PGS
TRINI BEAVER
HAMILTON COUNTY RECORDER, IN
RECORDED AS PRESENTED**

ORDINANCE NO. 16-06-25

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

Document Cross Reference Nos. 200300070352

This Ordinance (the "Bending Branch PD Ordinance" or "PD Ordinance") amends the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the "UDO"), enacted by the City of Noblesville (the "City") under authority of Indiana Code § 36-7-4-600, et seq., as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the "Plan Commission") conducted a public hearing on docket number LEGP 0010-2025 at its May 19, 2025 meeting, as required by law, in regard to the application (the "Petition") filed by MI Homes of Indiana, an Indiana limited partnership (the "Developer") concerning a change of zoning of certain property described in Exhibit A attached hereto (the "Real Estate" which is also referred to herein as the "District") and the adoption of a preliminary development plan to be known, collectively with attached Exhibits, as the "Bending Branch Preliminary Development Plan", as further described in Section 4 below (the "Preliminary Development Plan"); and,

WHEREAS, the Plan Commission has sent a Favorable Recommendation for adoption of said amendment with a vote of nine (9) AYES and one (1) NAYS to the Common Council of the City of Noblesville Hamilton County, Indiana (the "Common Council");

NOW, THEREFORE, BE IT ORDAINED by the Common Council, meeting in regular session, that it hereby adopts this Bending Branch PD Ordinance as an amendment to the UDO and the Official City of Noblesville Zoning Map (the "Zoning Map") to establish this Planned Development Overlay District (the "District") to read as follows:

Section 1. Applicability of Ordinance.

- A. The Zoning Map is hereby amended to change the zoning of the Real Estate from "R3" Residential to "R3/PD" Residential Planned Development, which is to be known as the Bending Branch Planned Development (the "District").

- B. The District's underlying zoning district shall be R3 Residential (the "Underlying District"). Development in this District shall be governed entirely by (i) the

provisions of this Bending Branch PD Ordinance and its exhibits, and (ii) those provisions of the UDO in effect as of the date of adoption of this Ordinance, and applicable to the Underlying District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance. Cross-references to "Article", "Part", "Section" and "Subsection" in this Ordinance shall refer to the corresponding Article, Part, Section and Subsection as specified and referenced in the UDO.

- C. All provisions and representations of the UDO that conflict with the provisions of this Bending Branch PD Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Bending Branch PD Ordinance.

Section 2.

Definitions. The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Words not defined herein but defined in the UDO shall be interpreted in accordance with the UDO definition.

Section 3.

Permitted Uses.

- A. All uses permitted in the Underlying District shall be permitted within the District; however, the maximum number of Dwelling Units shall not exceed one hundred and eighty-four (184).
- B. Accessory Uses and Accessory Structures customarily incidental to any permitted use shall be permitted.

Section 4.

Preliminary Development Plan.

- A. Full sized, scaled development plans are on file with the City's Planning and Development Department with a revision date of April 24, 2025. What is attached hereto as **Exhibit B** is a general representation of the full-sized plans and **Exhibit B**, together with the full-sized plans, shall be collectively referred to as the "Preliminary Development Plan".
- B. The Preliminary Development Plan is hereby incorporated herein and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations/waivers from the Underlying District and layout of the District.

Section 5.

Bulk Standards. The bulk requirements applicable to the Underlying District shall be replaced, modified and superseded by the below:

- A. The Minimum Lot Area: Eight thousand, four hundred and fifty (8,450) Square Feet

- B. Minimum Lot Width measured at the front building setback line:
Sixty-five (65) feet
- C. Minimum Lot Frontage at right-of-way: Forty (40) feet
- D. Maximum Building Height: Thirty-five (35) feet
- E. Minimum Front Yard Setback: Twenty-five (25) feet
- F. Minimum Side yard Setback: Five (5) feet
- G. Minimum Rear yard Setback: Fifteen (15) feet
- H. Minimum Floor Area: Fifteen Hundred (1,500) Square Feet
- I. Maximum Lot Coverage: Fifty-five (55) percent

Section 6. **Architectural Standards.** The requirements included in Article 8, shall not apply, instead the following shall apply to the District:

- A. The approved elevations shall be the set of elevations on file with the City's Planning and Development Department as submitted on January 15, 2025, as reviewed and approved by the City's Architectural Review Board / PUD/Plat Committee (the "Committee"), at its April 16, 2025 meeting (the "Approved Elevations").
- B. The Approved Elevations are hereby incorporated and approved. All home elevations shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review and approve elevations at the time of filing of the Detailed Development Plan and/or Building Permit for compliance and consistency with the Approved Elevations.
- C. The elevations of any dwelling that substantially varies from an Approved Elevations shall be submitted for review and approval by the Director of Planning and Development if in compliance with the Architectural Standards hereby incorporated under Exhibit C or require approval by the Committee, if not found in compliance with the standards included in Exhibit C. The Committee's review of said elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and the Approved Elevations.
- D. Elevation (Dwelling Character Exhibits) are included under Exhibit D which are representative of the Approved Elevations.
- E. Corner Breaks shall be a minimum of 2' by 6' creating an additional roof line. A corner lot street side is required to have the same number of corner breaks as the

front elevations of the home (Primary Architectural Plane). An additional corner break is required on homes that back to 191st Street and Moontown Road (lots within one hundred (100) feet of the subject road right-of-way). Subject lots are identified on the Preliminary Development Plan, **Exhibit B**.

Section 7. **Landscaping and Open Space Standards.** The standards of Article 12, Landscaping and Screening, of the UDO shall apply, except as modified below:

- A. **Lot Landscaping.** All Lots shall be landscaped with building base and yard plantings as required below:
 1. Front, side and rear yards shall be landscaped as illustrated in **Exhibit E.**
 2. All Dwellings shall have sod installed in the front yard.
 3. Shrubs shall be a minimum of 24".
- B. **Street Trees.** Street Trees shall be installed per the planting standards of the UDO.
 1. Street Trees in front of lots shall be installed by the builder of the home on the subject lot at the time of home construction.
 2. Street Trees along common area frontages shall be installed by the Developer at the time to installation of Buffer Yard plantings.
- C. **Landscape Buffer Yards.** The establishment of a Peripheral Yard, as set forth in Article 8, Part H, Section 3.F.2 of the UDO shall not be applied to the Real Estate. Instead, landscape buffer yards shall be provided as illustrated on the Preliminary Development Plan subject to the following:
 1. **East Peripheral Yard (east perimeter of the Real Estate including the north segment between the two east segments):** A minimum fifteen (15) foot common area including the preservation of existing trees as selected by the Developer. The continuation of a residential subdivision is anticipated east of the subject Real Estate as illustrated on the Preliminary Development Plan.
 2. **North Peripheral Yard:** A minimum three-hundred fifty (350) foot common area including the preservation of existing trees as selected by the Developer.
 3. **191st Peripheral Yard:**
 - a. The 191st Street Peripheral Yard shall be a minimum of fifty (50) feet of common area and a minimum of twenty-five (25) foot buffer planting area.

- b. Three (3) trees, at least two (2) of which shall be shade trees, and thirty-three (33) shrubs, shall be provided per one-hundred (100) linear feet of road frontage west of the subdivision entrance and within one-hundred and fifty feet east of the subdivision entrance.
 - c. East of the subdivision entrance between a distance of one-hundred and fifty feet and the east perimeter of the Real Estate the preservation of existing trees as shown on the Preliminary Development Plan shall be required.
 - d. No buffer yard shall be required where the real estate is adjacent to the parcel recorded as Hamilton County Instrument Number 201915838.
4. Moontown Road Peripheral Yard: The west Peripheral Yard shall be a minimum of seventy-five (75) feet of common area and a minimum of twenty-five (25) foot buffer planting area. Three trees, at least two (2) of which shall be shade trees, and thirty-three (33) shrubs, shall be provided per one-hundred (100) linear feet of road frontage. The preservation of trees in the North Peripheral Yard shall supersede this Moontown Road Peripheral Road standard.
5. Shrubs: Shrubs shall be a minimum of 24".
- D. Open Space. Open Space shall be provided substantially in the size, configuration and locations depicted on Sheet C1.40 of the Preliminary Development Plan. As shown all Common Areas are 40.284 acres and the total pond area is 7.8 acres resulting in approximately 32.5 acres of open space which is approximately thirty-two (32) percent of the Real Estate where twenty-eight (28) percent is required.
- E. Tree Preservation. The requirements of Article 12, Section 13.B (Tree Preservation) of the UDO shall be applicable to the Real Estate in areas specified as Tree Preservation Easements on the Final Development Plan and notice of the regulation of such standards shall be included in the Declaration of Covenants and Restriction that will be applicable to the Real Estate.

Section 8. Parking and Loading Standards. The standards of Article 10, Off-Street Parking and Loading, of the UDO shall apply except as noted below:

- A. The minimum distance between the street right-of-way and the driveway for lots which front more than one public street shall be twenty-five (25) feet and driveways may be placed within five (5) feet from the side lot lines.

Section 9. Lighting Standards. The standards of Article 13, Environmental Performance Standards, of the UDO, shall apply, except as modified below:

- A. Photocell controlled light fixtures shall be required on either side of garage doors.

Section 10. **Sign Standards.** The District's signs shall comply with Article 11 of the UDO, except as modified below:

- A. A sign of the design (including area and height) consistent with the sign depicted in Exhibit E shall be permitted.

Section 11. **Site Design and Infrastructure Standards.** Unless otherwise stated within this Bending Branch PD Ordinance, all public infrastructure within the District shall adhere to the City's standards and design criteria, subject to the following specific waivers that are hereby approved:

- A. The minimum right-of-way radius for a cul-de-sac shall be fifty-one (51) feet.
- B. Corner lots shall be permitted at the minimum Lot size applicable to the Real Estate but accommodate the required twenty-five foot front setback on both street frontages.
- C. The Centerline Radii for Residential Minor Collectors shall be 150 feet.

Section 12. **Procedures:**

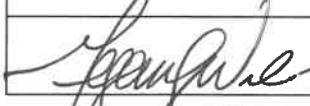
- A. **Detailed Development Plan:** Approval of any Detailed Development Plan ("DDP") shall follow the procedures set out in Article 8 of the UDO, subject to the following clarification:
 1. The Director of Planning and Zoning shall approve a Minor Change; and
 2. If a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, The Major Change shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the Governing Standards set forth herein and shall be compatible and consistent with the intended quality and character of the District.
- B. **Secondary Plat:** A Secondary Plat shall be submitted for review and approval as part of any approved DDP.
- C. **Major Change.** For purposes of this PD Ordinance, a "Major Change" shall mean: (i) a substantial change to the location of a perimeter entrance as shown on the Preliminary Development Plan; and (ii) significant changes to the drainage management systems, including, but not limited to, BMP's and legal drains.
- D. **Minor Change.** For purposes of this PD Ordinance, a "Minor Change" shall mean any change that: (i) is not a Major Change; and (ii) is consistent with the

intent of this Ordinance and consistent with the quality and character represented in this Bending Branch Ordinance for the District.

Section 13. Effective Date. This Bending Branch PD Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

[The remainder of this page intentionally left blank; signature page follows.]

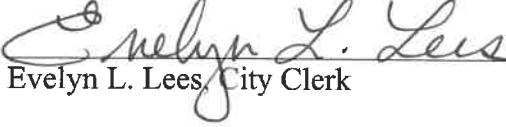
Approved on this 10th day of June, 2025 by the Common Council of the City of Noblesville, Indiana:

AYE	NAY	ABSTAIN
	Mark Boice 	
	Michael J. Davis	
	Evan Elliott	
	David M. Johnson	
	Darren Peterson	
	Pete Schwartz	
	Aaron Smith	
	Todd Thurston 	
	Megan G. Wiles	

ATTEST:


Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this 10th day of June, 2025 at 6:35 P.M.


Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

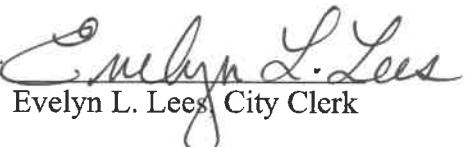

Chris Jensen, Mayor

6-10-25
Date

MAYOR'S VETO

Chris Jensen, Mayor

Date

ATTEST: 
Evelyn L. Lees, City Clerk



I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Jon C. Dobosiewicz

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.

Bending Branch PD - PD Ordinance 7 052825

EXHIBIT A

Legal Description (Page 1 of 1)

AS-SURVEYED LAND DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 19 NORTH, RANGE 4 EAST, HAMILTON COUNTY, INDIANA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28; THENCE NORTH 00 DEGREES 08 MINUTES 42 SECONDS EAST ALONG THE WEST LINE OF THE SAID QUARTER FOR A DISTANCE OF 2397.96 FEET; THENCE SOUTH 89 DEGREES 52 MINUTES 42 SECONDS EAST FOR A DISTANCE OF 25.00 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 42 SECONDS EAST, PARALLEL WITH THE SAID WEST LINE, FOR A DISTANCE OF 100.00 FEET; THENCE NORTH 16 DEGREES 50 MINUTES 39 SECONDS EAST FOR A DISTANCE OF 52.50 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 42 SECONDS EAST, PARALLEL WITH THE SAID WEST LINE, FOR A DISTANCE OF 100.39 FEET; THENCE NORTH 89 DEGREES 09 MINUTES 56 SECONDS EAST, ALONG THE NORTH LINE OF THE SAID QUARTER, FOR A DISTANCE OF 1288.02 FEET TO THE NORTHEAST CORNER OF THE WEST HALF OF THE SAID QUARTER; THENCE SOUTH 00 DEGREES 09 MINUTES 43 SECONDS WEST, ALONG THE EAST LINE OF THE SAID WEST HALF, FOR A DISTANCE OF 1324.58 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF SAID QUARTER; THENCE NORTH 89 DEGREES 11 MINUTES 29 SECONDS EAST FOR A DISTANCE OF 663.85 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 14 SECONDS WEST FOR A DISTANCE OF 1324.89 FEET TO A POINT ON THE SOUTH LINE OF THE SAID QUARTER; THENCE SOUTH 89 DEGREES 13 MINUTES 02 SECONDS WEST, ALONG THE SAID SOUTH LINE, FOR A DISTANCE OF 1990.95 FEET TO THE POINT OF BEGINNING, CONTAINING 100.712 ACRES OF LAND, MORE OR LESS.

A PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 19 NORTH, RANGE 4 EAST, HAMILTON COUNTY, INDIANA, AND BEING THAT PART OF THE GRANTOR'S LAND DESCRIBED IN INSTRUMENT 200300070352, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE SAID QUARTER SECTION AND THE GRANTOR'S LAND; THENCE ON AND ALONG THE WEST LINE OF SAID QUARTER SECTION AND GRANTOR'S LAND NORTH 00 DEGREES 04 MINUTES 06 SECONDS WEST (BASIS OF BEARING BEING THE LOCATION CONTROL ROUTE SURVEY PLAT RECORDED AS INSTRUMENT NUMBER 2018052014 IN THE OFFICE OF THE RECORDER OF SAID COUNTY) 62.93 FEET; THENCE NORTH 89 DEGREES 00 MINUTES 08 SECONDS EAST 409.67 FEET TO THE POINT OF BEGINNING, DESIGNATED "652" ON SAID PLAT; THENCE NORTH 00 DEGREES 59 MINUTES 52 SECONDS WEST 101.00 FEET TO POINT DESIGNATED "653" ON SAID PLAT; THENCE NORTH 89 DEGREES 00 MINUTES 08 SECONDS EAST 215.00 FEET TO POINT DESIGNATED "654" ON SAID PLAT; THENCE SOUTH 00 DEGREES 59 MINUTES 52 SECONDS EAST 101.00 FEET TO POINT DESIGNATED "655" ON SAID PLAT; THENCE SOUTH 89 DEGREES 00 MINUTES 08 SECONDS WEST 215.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.499 ACRES (21715.00 SQUARE FEET), MORE OR LESS.

EXHIBIT A

**Depiction of Legal Description
(Page 2 of 2)**

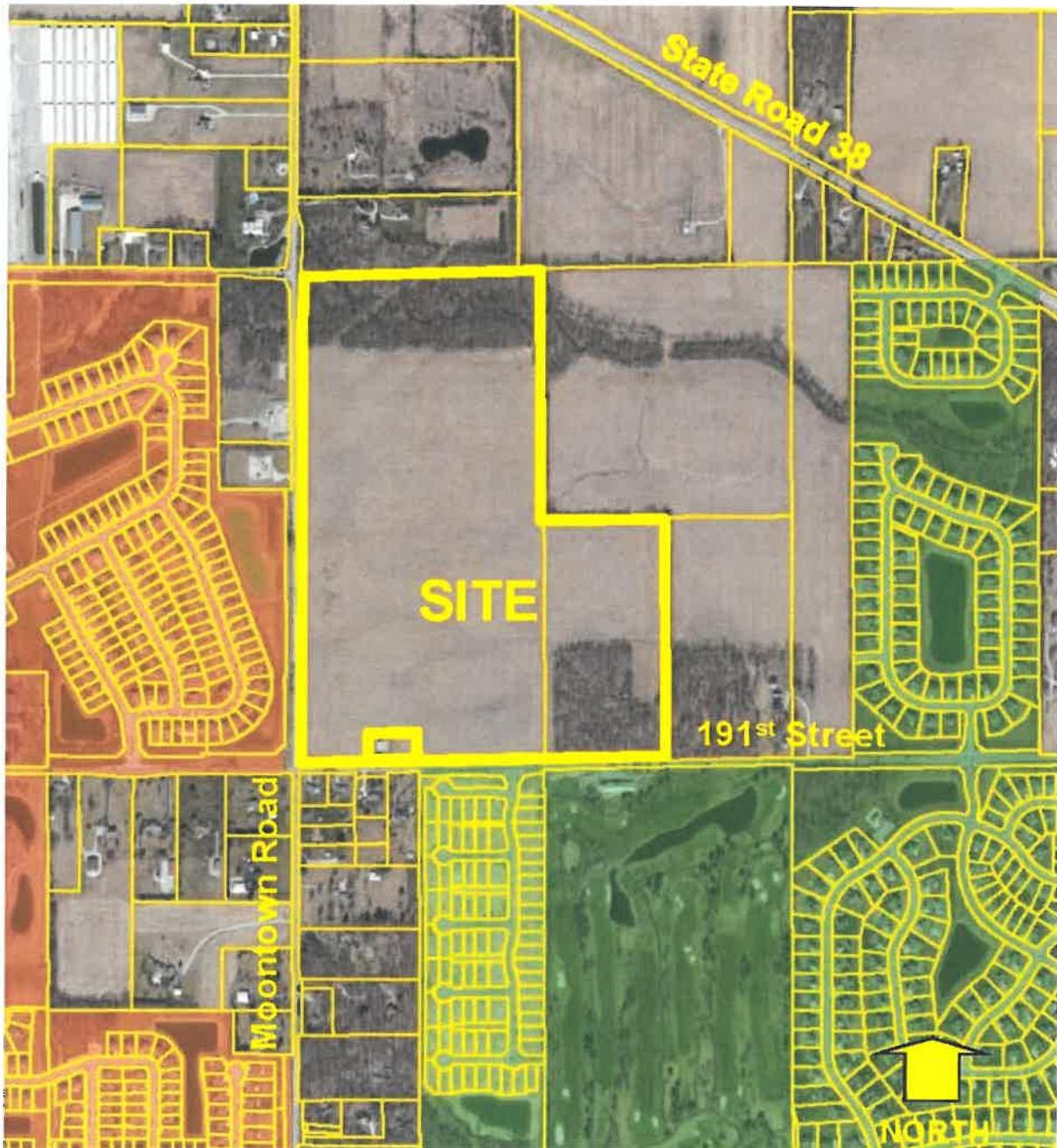


EXHIBIT B
PRELIMINARY DEVELOPMENT PLAN

BENDING BRANCH
at Noblesville

M/I HOMES



(See following 42 pages which are the PDP plan set on file with Noblesville Planning)

BENDING BRANCH PRELIMINARY DEVELOPMENT PLAN SET

PROPERTY ADDRESS:
NE. CORNER OF E. 191ST STREET & MOONTOWN ROAD, NOBLESVILLE, IN 46062

PARCEL #: 10-06-28-00-001,000 & 10-06-28-000-003,000

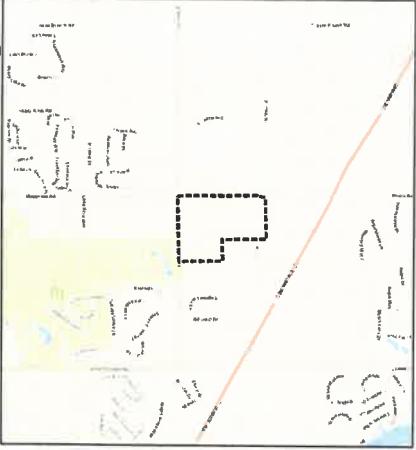
DEVELOPER:
MI Homes of Indiana, L.P.
ATTN: Jonathan Isaacs
Director of Land Acquisition

8425 Woodfield Crossing Blvd.
Suite 100 W
Indianapolis, IN 46240

(317) 475-3629
jcjoyle@hwengineering.com

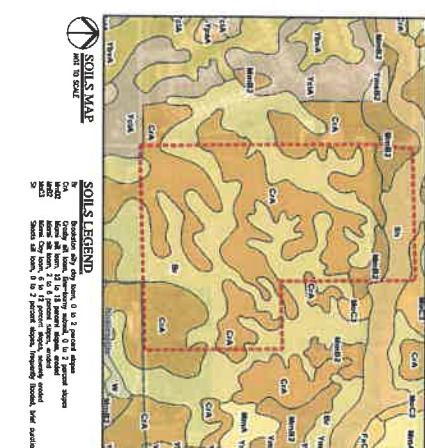
AGENT/ENGINEER:
HWC Engineering
R. Jason Coyle
Sr. Project Manager
135 N. Pennsylvania,
Suite 2800
Indianapolis, IN 46204
(317) 347-3663
jcoyle@hwengineering.com

REVISONS	DATE	DESCRIPTION	BY	VER



LOCATION MAP

NOT TO SCALE



SOILS MAP

SOILS LEGEND

Brickell on clay soils, 0.2 to 0.5 percent slopes
Bottomland, clay soils, 0.5 to 1.5 percent slopes
Bottomland, loamy soils, 0.5 to 1.5 percent slopes
Bottomland, silty soils, 0.5 to 1.5 percent slopes
Bottomland, silty soils, 1.5 to 3 percent slopes
Bottomland, silty soils, 3 percent or more slopes
Sands, alluvial, 0 to 1 percent slopes, highly sorted
Sands, alluvial, 1 to 3 percent slopes, highly sorted
Sands, alluvial, 3 percent or more slopes, highly sorted

SHEET LIST TABLE

Sheet Number	Sheet Description
C0.00	COVER
C0.00-C0.15	EXISTING CONDITIONS PLAN
C0.20-C0.25	PRIMARY PLAT
C1.00-C1.05	DEVELOPMENT PLAN
C1.10-C1.11	INTERSECTION SIGHT DISTANCE PLAN
C1.20	LIGHT AND SIGNAGE PLAN
C1.30	CLUSTER MAILBOX PLAN
C1.40	OPEN SPACE PLAN
C1.5	PHASING PLAN
	BY OTHERS
	LANDSCAPE PLANS

UTILITY CONTACT INFORMATION:
 ROBERT BENDER - LEISURE IN STATE ENGINEERS
 1219 S. State St., Suite 400, Indianapolis, IN 46294
 PHONE: (317) 257-2020
 FAX: (317) 257-2040
 EMAIL: r_bender@leisureinstate.com
 WEBSITE: https://leisureinstate.com
 https://leisureinstate.com
 R. JASON COYLE - HW ENGINEERING
 135 N. Pennsylvania, Suite 2800, Indianapolis, IN 46204
 PHONE: (317) 347-3663
 FAX: (317) 347-3670
 EMAIL: jcoyle@hwengineering.com
 WEBSITE: https://hwengineering.com
 MAUREEN BROWN - JAGSON CONSULTING
 2455 N. Meridian, Suite 200, Indianapolis, IN 46208
 PHONE: (317) 533-9800
 FAX: (317) 533-9801
 EMAIL: mbrown@jagsonconsulting.com
 WEBSITE: https://jagsonconsulting.com
 SCOTT MCKEE - 2020 CONSULTANTS
 2020 Plaza, Suite 200, Indianapolis, IN 46294
 PHONE: (317) 281-2020
 FAX: (317) 281-2021
 EMAIL: info@2020consultants.com
 WEBSITE: https://2020consultants.com
 CLAY COOPER - COOPER LANDSCAPING
 1201 44th Street, Indianapolis, IN 46290
 PHONE: (317) 573-5077
 FAX: (317) 573-5077
 EMAIL: info@cooperlandscaping.com
 WEBSITE: https://cooperlandscaping.com
 ROBERT FERGUSON - RFB LANDSCAPING
 234 W. Main Street, Noblesville, IN 46062
 PHONE: (317) 738-2344
 FAX: (317) 738-2344
 EMAIL: rfb@rbflandscape.com
 WEBSITE: https://rbflandscape.com
 ROBERT KELLY - KELLY BUILDING CONTRACTORS
 2005 E. 19th Street, Noblesville, IN 46060
 PHONE: (317) 738-2344
 FAX: (317) 738-2344
 EMAIL: kelly@kellybuildingcontractors.com
 WEBSITE: https://kellybuildingcontractors.com
 RYAN KERKHOFF - KERKHOFF CONSTRUCTION
 1120 N. Meridian, Indianapolis, IN 46208
 PHONE: (317) 841-5555
 FAX: (317) 841-5556
 EMAIL: rkerkhoff@kerkhoffconstruction.com
 WEBSITE: https://kerkhoffconstruction.com
 SCOTT KERKHOFF - KERKHOFF CONSTRUCTION
 1120 N. Meridian, Indianapolis, IN 46208
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 WEBSITE: https://kerkhoffconstruction.com

BENDING BRANCH - EAST 191ST STREET CITY OF NOBLESVILLE, INDIANA PRELIMINARY DEVELOPMENT PLAN SET COVER



C0.00
COVER

DEVELOPMENT SITE PLAN SUMMARY:
TOTAL AREA: 100.240 Acre(s)
TOTAL NUMBER OF LOTS: 144
RESIDENTIAL UNITS: 130
TOTAL LOT AREA: 42.890 Acre(s) (33.8% of Total)
TOTAL FRONT YARD SURFACE: 15 MIN(s)
MIN. SIDE YARD SURFACE: 1.500 FT
MAX. LIVING AREA: 1,500 SQ.FT
MAX. BLDG. SURFACE: 9000 SF
TOTAL BLDG. SURFACE: 5240 SQ.FT
TOTAL LENGTH OF STREETS: 2.300 FT
TOTAL ROAD CLASSIFICATIONS: EAST 191ST STREET & MOONTOWN ROAD
SECONDARY ARTERIAL/LIN TOTAL SURFACE AREA: 10000.00 SF
POND AREA AT NORMAL POOL: 78.44

FLOOD HAZARD STATEMENT:

The account of the flood hazard information shown on the map below is subject to the use of scale and elevation on the reference flood insurance maps with the same zone as the property. Flood zones are determined by the Federal Emergency Management Agency based on the National Flood Insurance Program and the Indiana State Building Code.

SOLE

Community Panel, based on 2000 USGS C

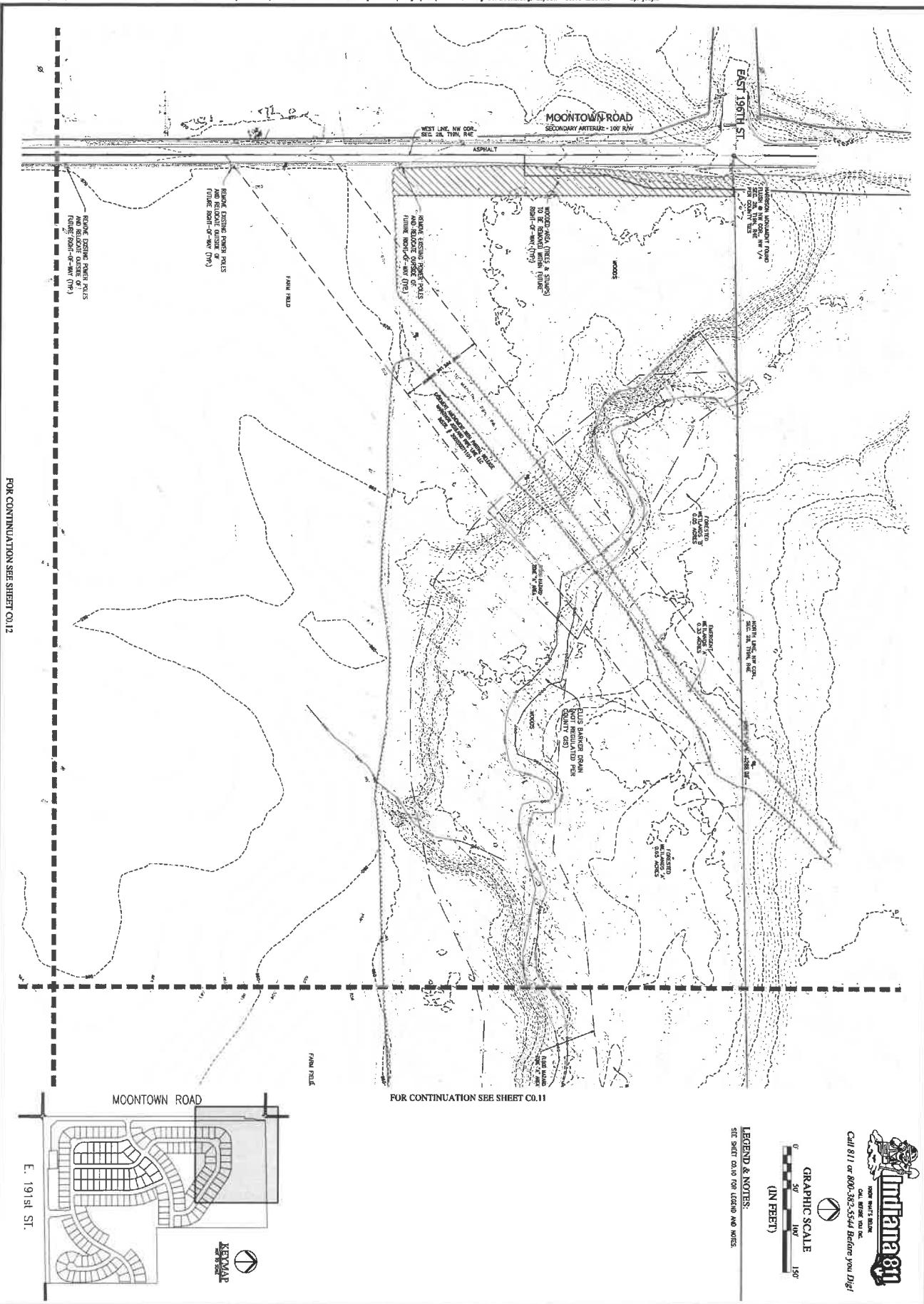
County Map (was dated November 18, 2014)

PREPARED BY:
HWC Engineering, Inc.
Date: April 23, 2025
Job Number: 2024-384-S

Call 811 or 800-222-5044 Before you Dig!



Call 811 or 800-222-5044 Before you Dig!



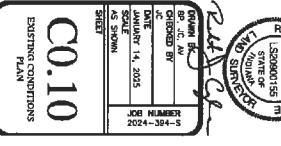
HOMEOWNERS
CALL 811 OR 800-362-5544 Before You Dig!



LEGEND & NOTES:
SHEET CO.10 FOR LEGEND AND NOTES.



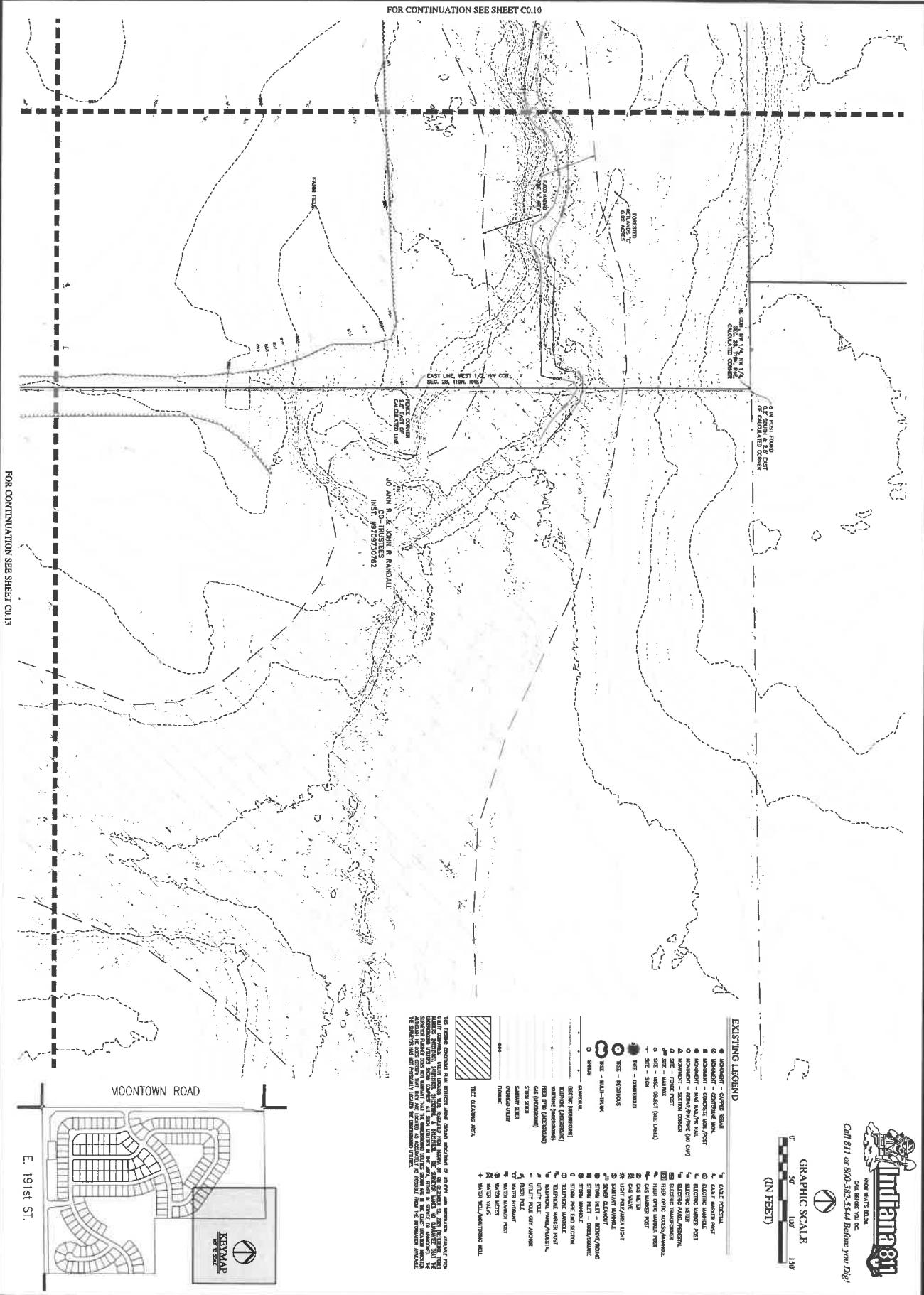
REVISIONS	
DATE	DESCRIPTION BY



C.O.10
EXISTING CONDITIONS
PLAN

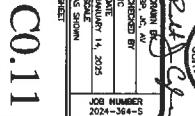
BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
EXISTING CONDITIONS PLAN

FOR CONTINUATION SEE SHEET C0.10



FOR CONTINUATION SEE SHEET C0.13

© 2025



C0.11
EXISTING CONDITIONS

BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
EXISTING CONDITIONS PLAN

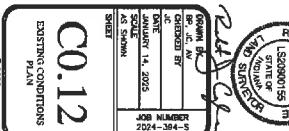
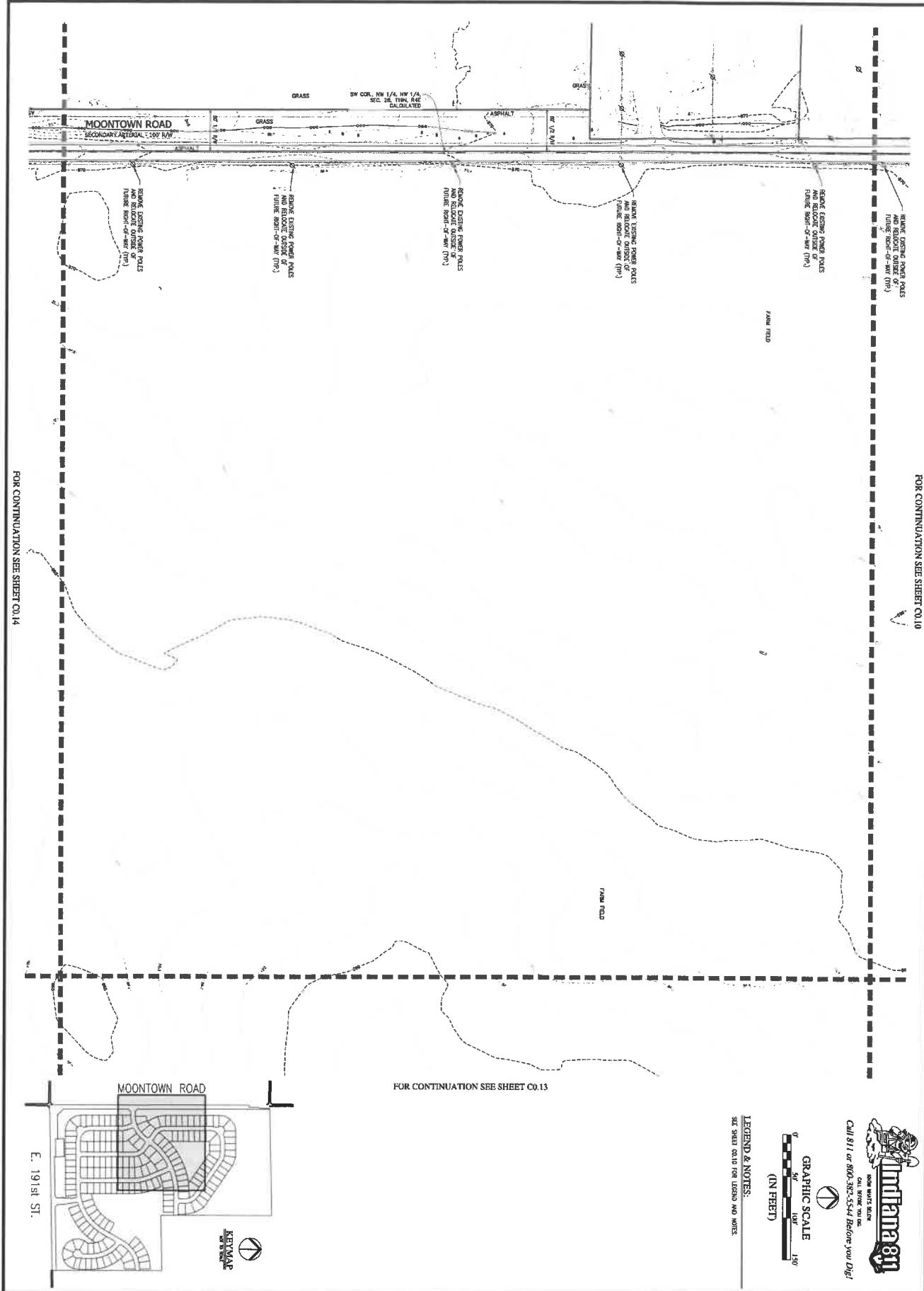
HWC
Engineering

REVISONS	
DATE	DESCRIPTION BY
REVISION NUMBER	REVISION DATE
VER.	AC.
REV.	AC.



KOKE MEETS NELSON
Call Before You Dig!

Call 811 or 800-382-5544 Before You Dig!



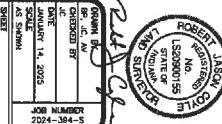
BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
EXISTING CONDITIONS PLAN



REVISIONS		
DATE	DESCRIPTION	BY
04/23/2025	INITIAL SUBMISSION	JCOYLE
04/23/2025	REVISION	JCOYLE
04/23/2025	REVISION	JCOYLE

C.O.12
EXISTING CONDITIONS
PLAN

©2025

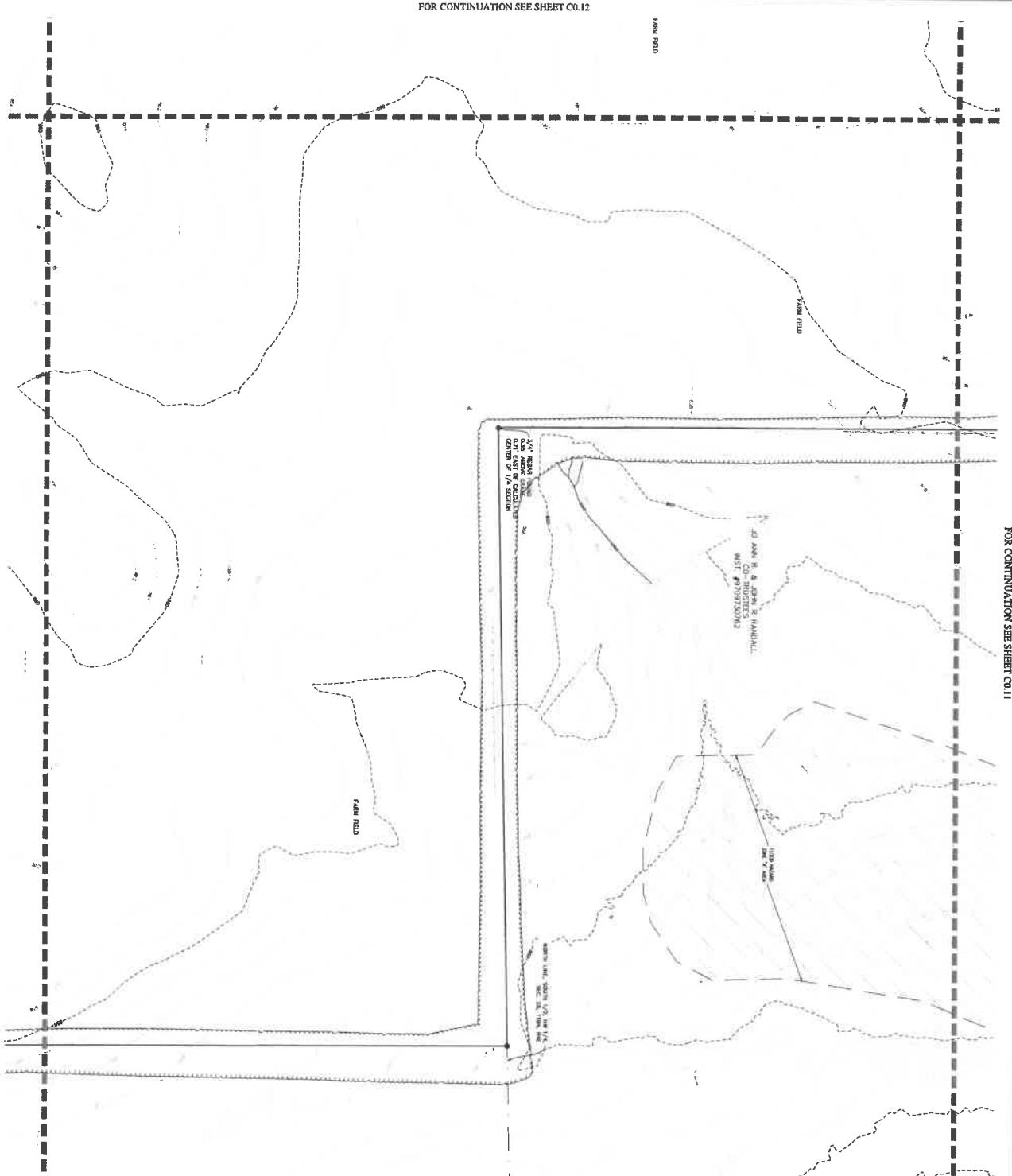


FOR CONTINUATION SEE SHEET C0.12

FARM FIELD

FOR CONTINUATION SEE SHEET C0.15

FOR CONTINUATION SEE SHEET C0.11



LEGEND & NOTES:
SEE SHEET C0.10 FOR LEGEND AND NOTES



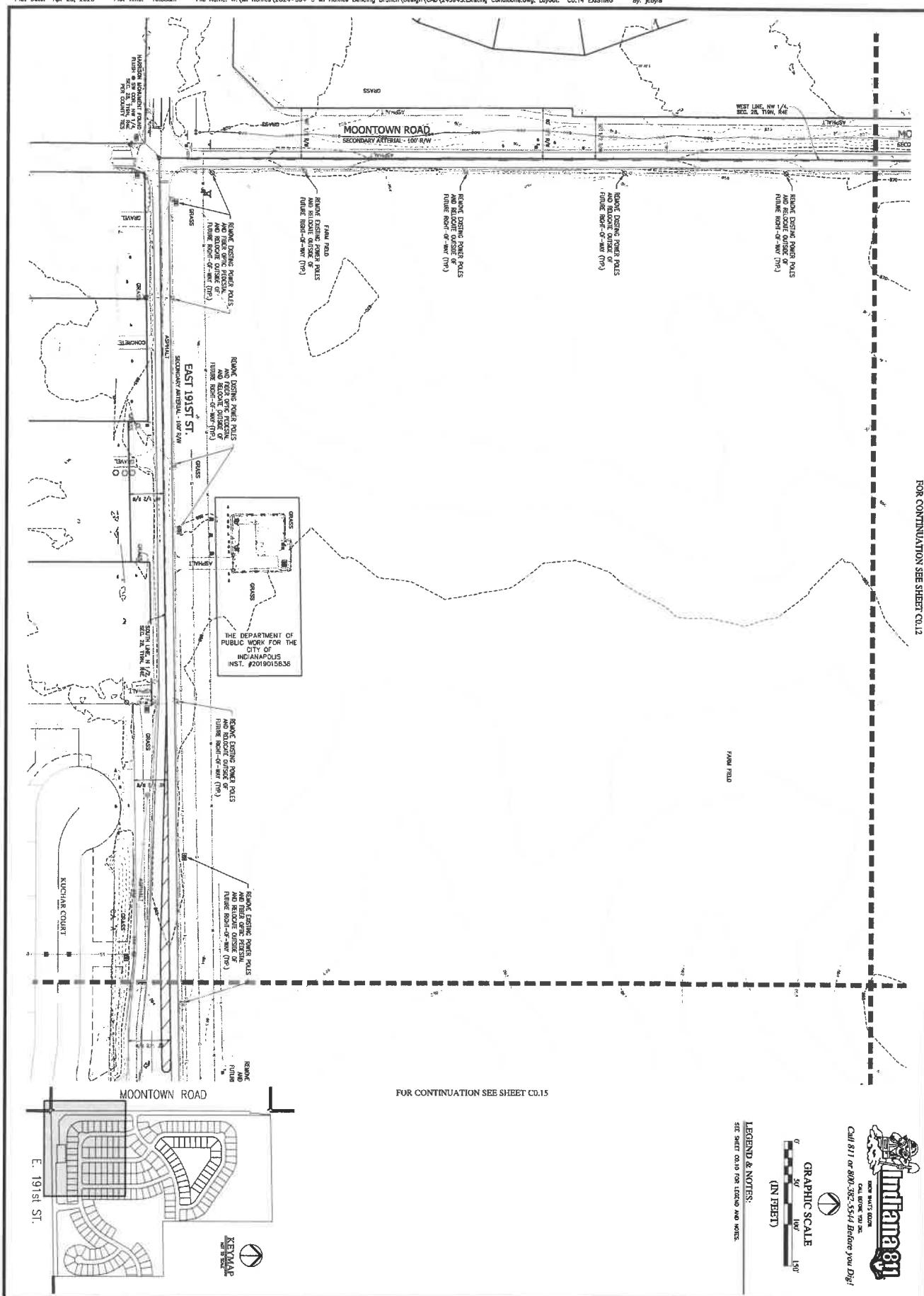
C0.13	
EXISTING CONDITIONS PLAN	
<i>R. L. C.</i>	
OWNER DR. JACOB REEDER REEDER BY SHERIFF STATE OF INDIANA NOTARIZED BY JANUARY 15, 2025 SCALE AS SHOWN	ROBERT REEDER REEDER REEDER BY SHERIFF STATE OF INDIANA NOTARIZED BY JANUARY 15, 2025 SCALE AS SHOWN
JOB NUMBER 2024-394-S	

BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA

PRELIMINARY DEVELOPMENT PLAN SET
EXISTING CONDITIONS PLAN



REVISIONS	
DATE	DESCRIPTION BY
REVISION NO.	REVISION NO.
REVISION DATE	REVISION DATE
REVISION BY	REVISION BY



FOR CONTINUATION SEE SHEET CO.12



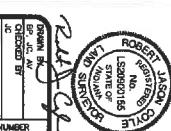
Call 811 or 800-362-5544 Before you Dig!

Call 811 or 800-362-5544 Before you Dig!

LEGEND & NOTES:
SEE SHEET CO.10 FOR LEGEND AND NOTES.

GRAPHIC SCALE
(IN FEET)
0' 50' 100' 150'

C.0.14
EXISTING CONDITIONS
SHEET



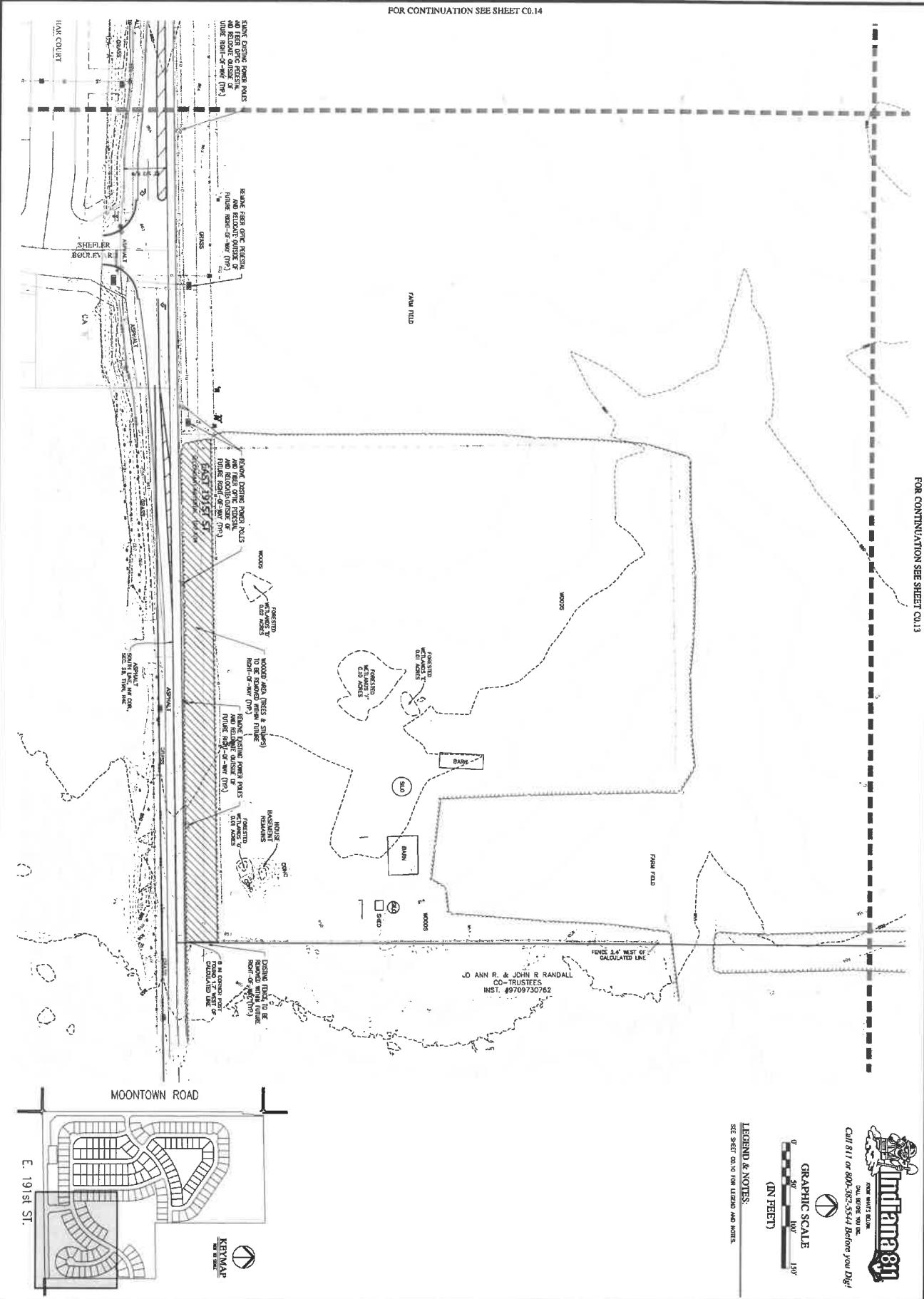
BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
EXISTING CONDITIONS PLAN

HWC
ENGINEERING
www.hwcengineering.com

REVISIONS			
DATE	DESCRIPTION	BY	AC

FOR CONTINUATION SEE SHEET C0.14

FOR CONTINUATION SEE SHEET C0.13

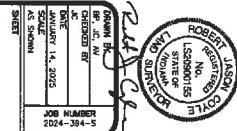


LEGEND & NOTES
SEE SHEET C0.14 FOR LEGEND AND NOTES



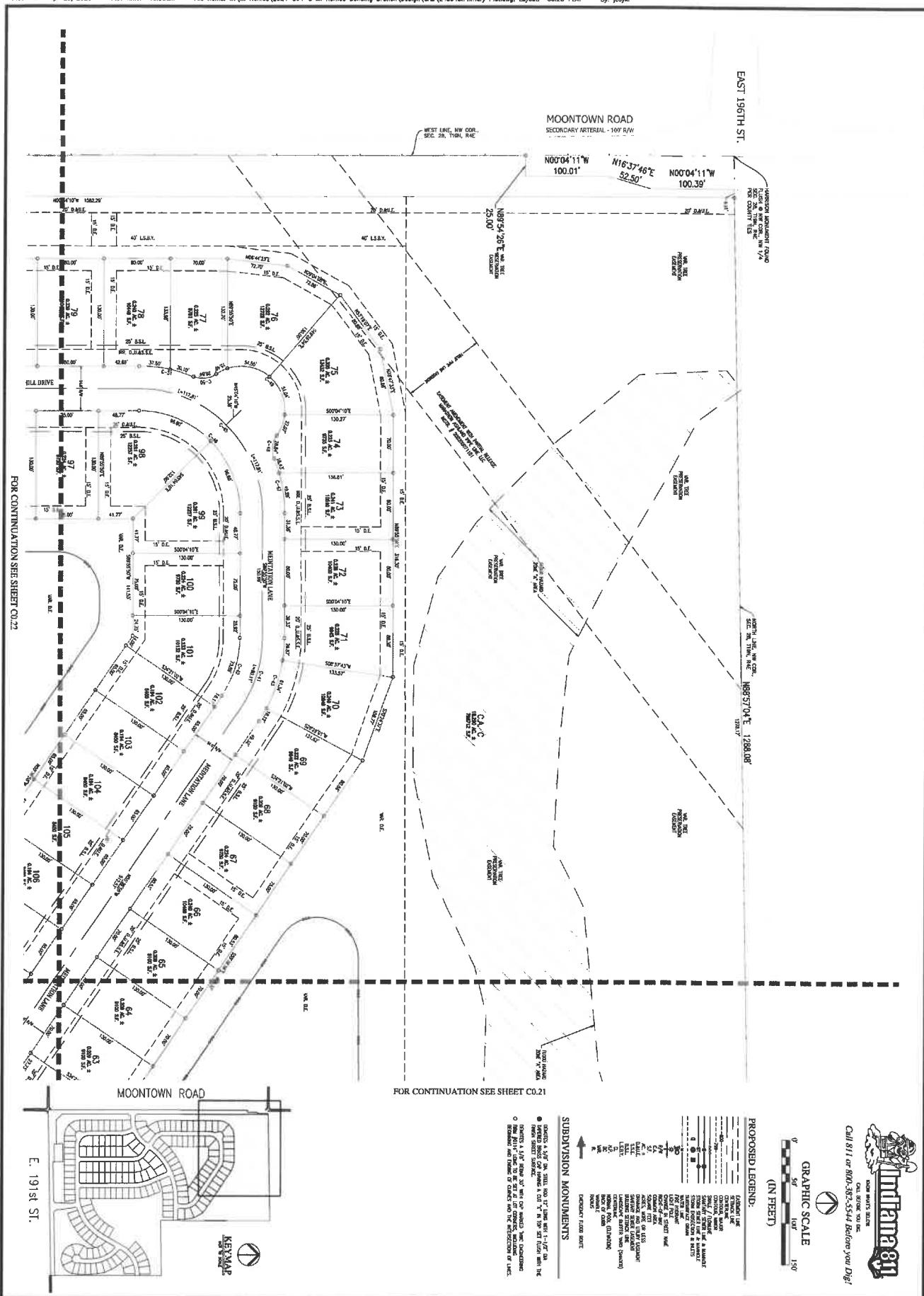
BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
EXISTING CONDITIONS PLAN

C0.15
EXISTING CONDITIONS
PLAN
SHEET

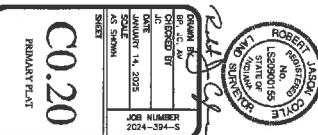


HWC
ENGINEERING
CONTRACTORS

REVISIONS			
DATE	DESIGN PERIOD	BY	
4/2025	INDIANA STATE PLANNING	AC	
REVISION NUMBER	REVISION DATE	REVISION BY	



BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
PRIMARY PLAT



C.0.20
PRIMARY PLAT

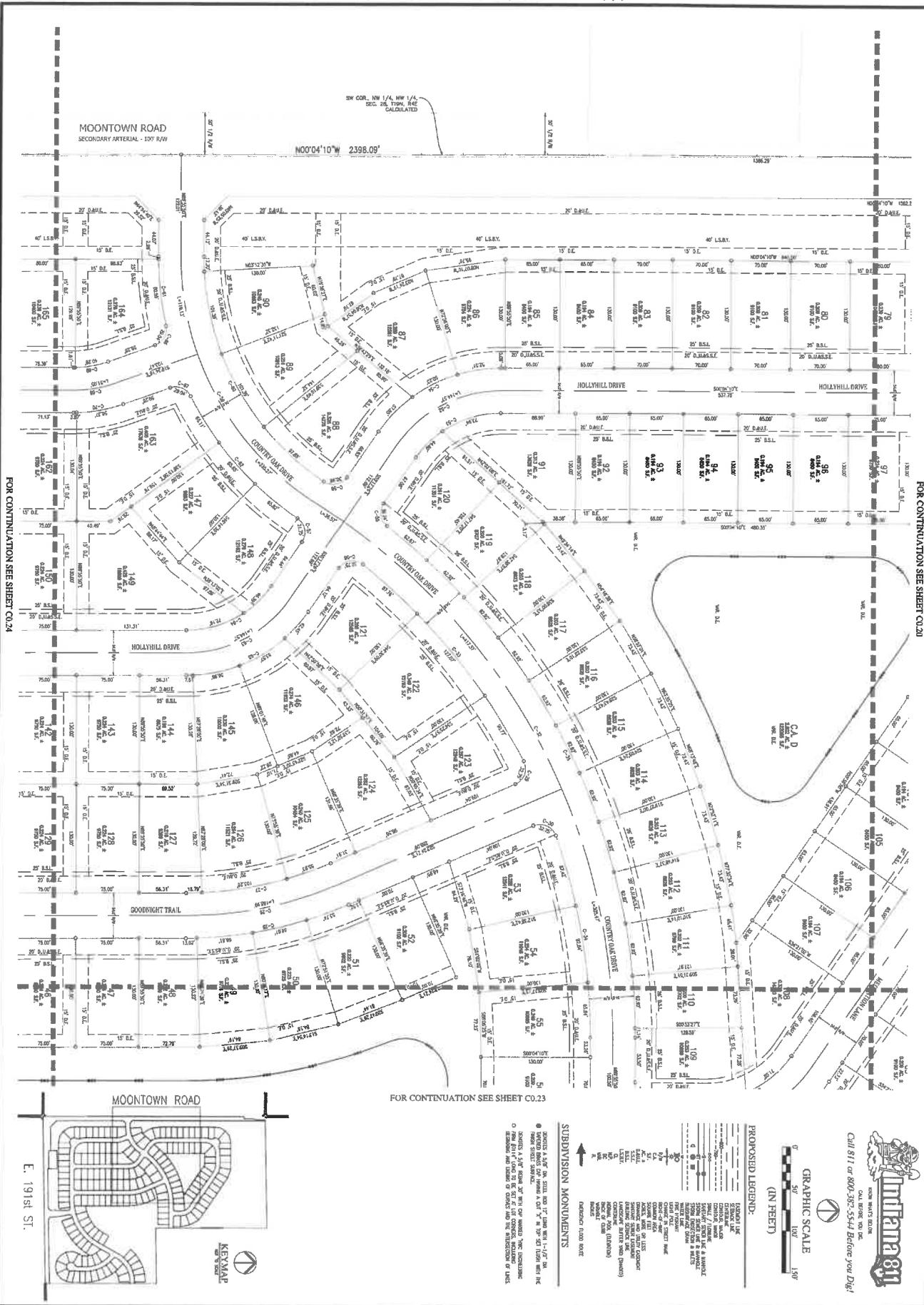


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DATE	DESCRIPTION	BY

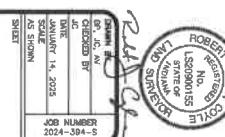


Call 811 or 800-362-5544 Before you Dig!

HOME PLANS BY ZONE
Call Before You Dig



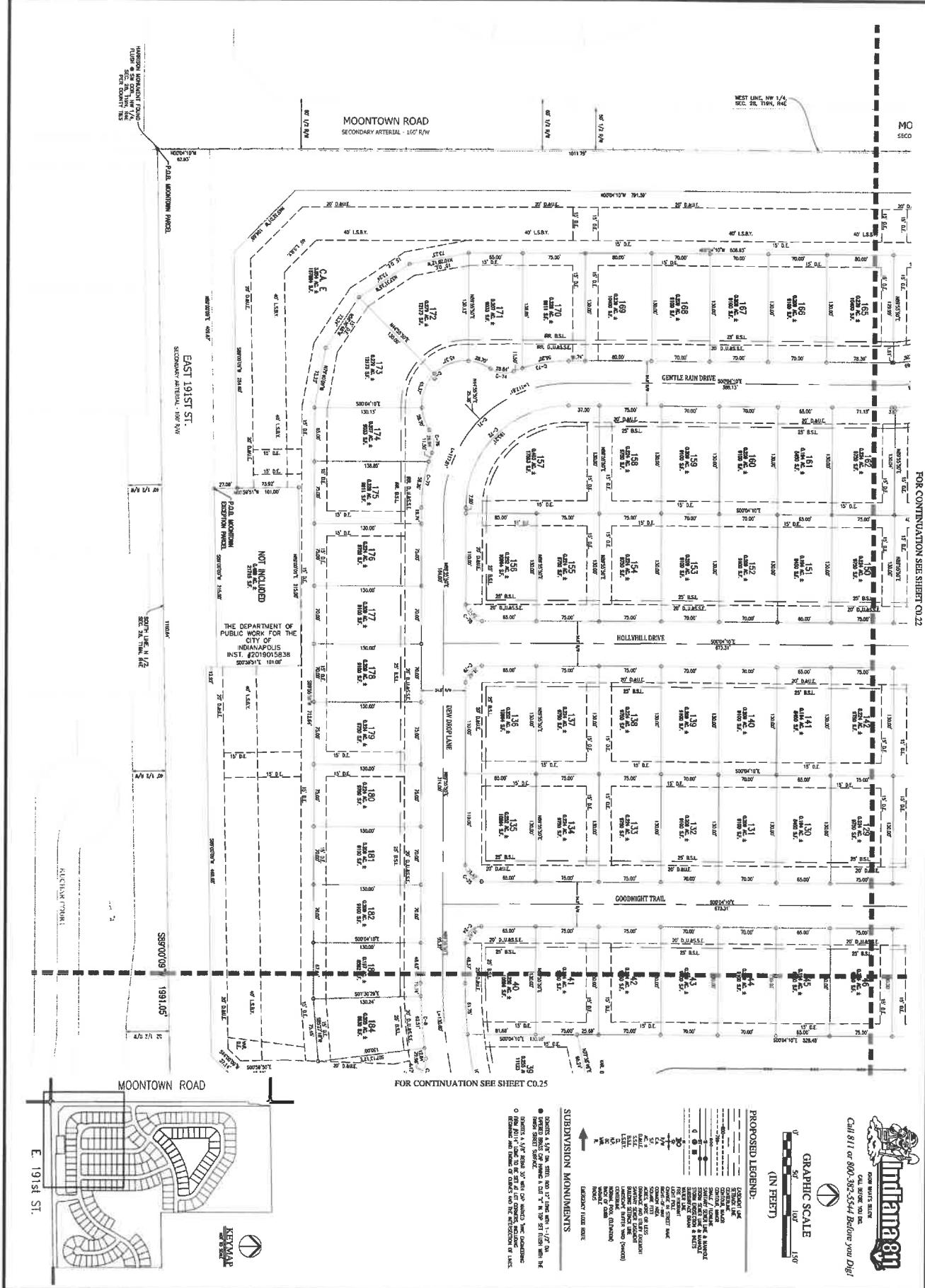
C0.22
PRIMARY PLAT



**BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
PRIMARY PLAT**

HWC
HARRIS WHITING CONSULTING ENGINEERS

REVISIONS	
DATE	DESCRIPTION BY
JAN 2025	REVISION NO. REC'D.
	N.C.
	REVISION DATE
	REVISION NO. REC'D.
	N.C.
	REVISION DATE
	REVISION NO. REC'D.
	N.C.
	REVISION DATE
	REVISION NO. REC'D.
	N.C.
	REVISION DATE
	REVISION NO. REC'D.
	N.C.



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REVISIONS	
Date	Description by
04/23/2025	Initial Release

**BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA**

**PRELIMINARY DEVELOPMENT PLAN SET
PRIMARY PLAT**

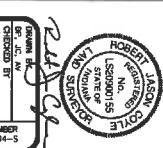
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R. H. Joyce

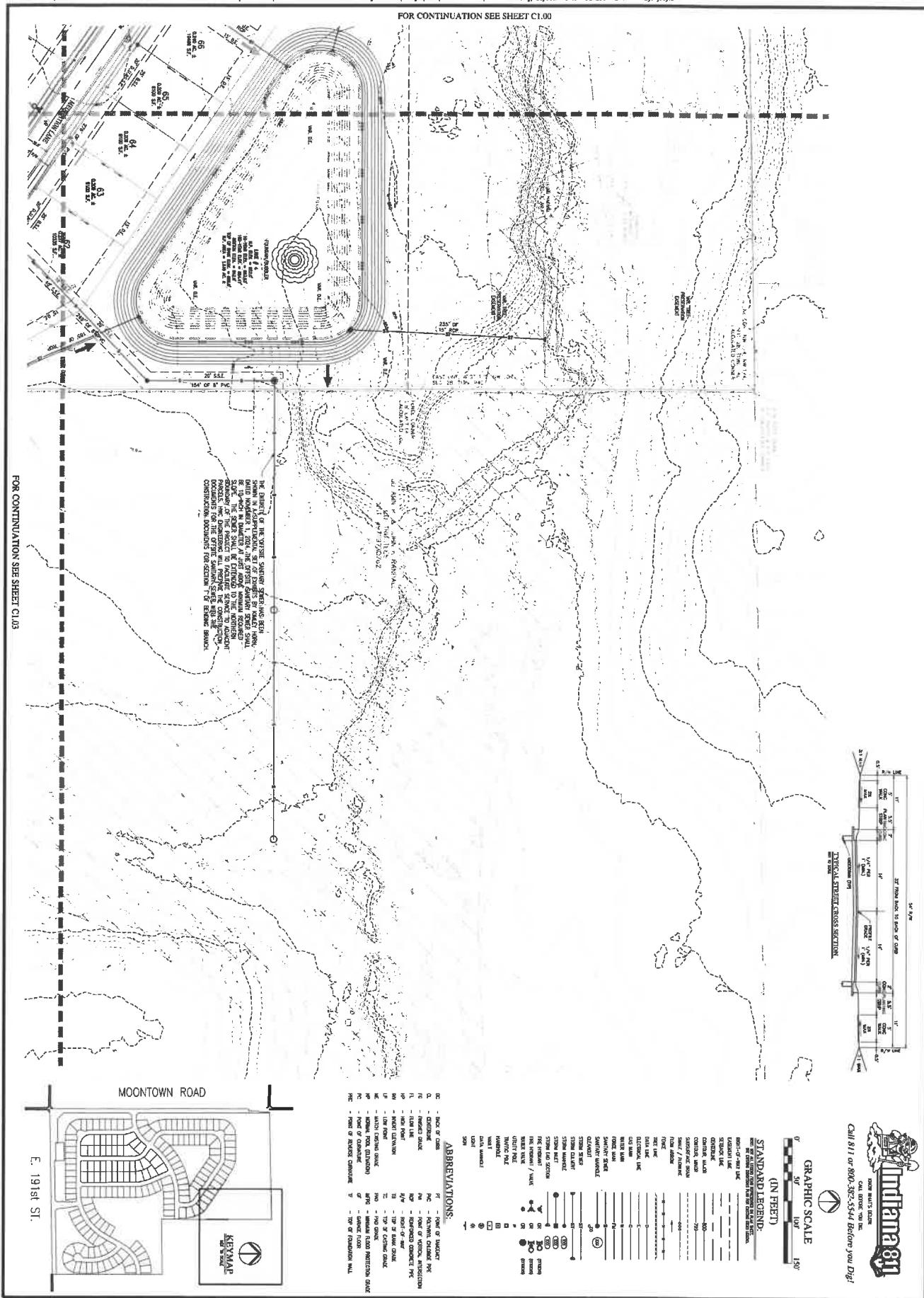
JOHN H. JOYCE, REG'D LAND SURVEYOR
CIVIL ENGINEERING
DESIGNERS
STATE OF INDIANA
JOB NUMBER 2024-394-S
SCALE AS SHOWN

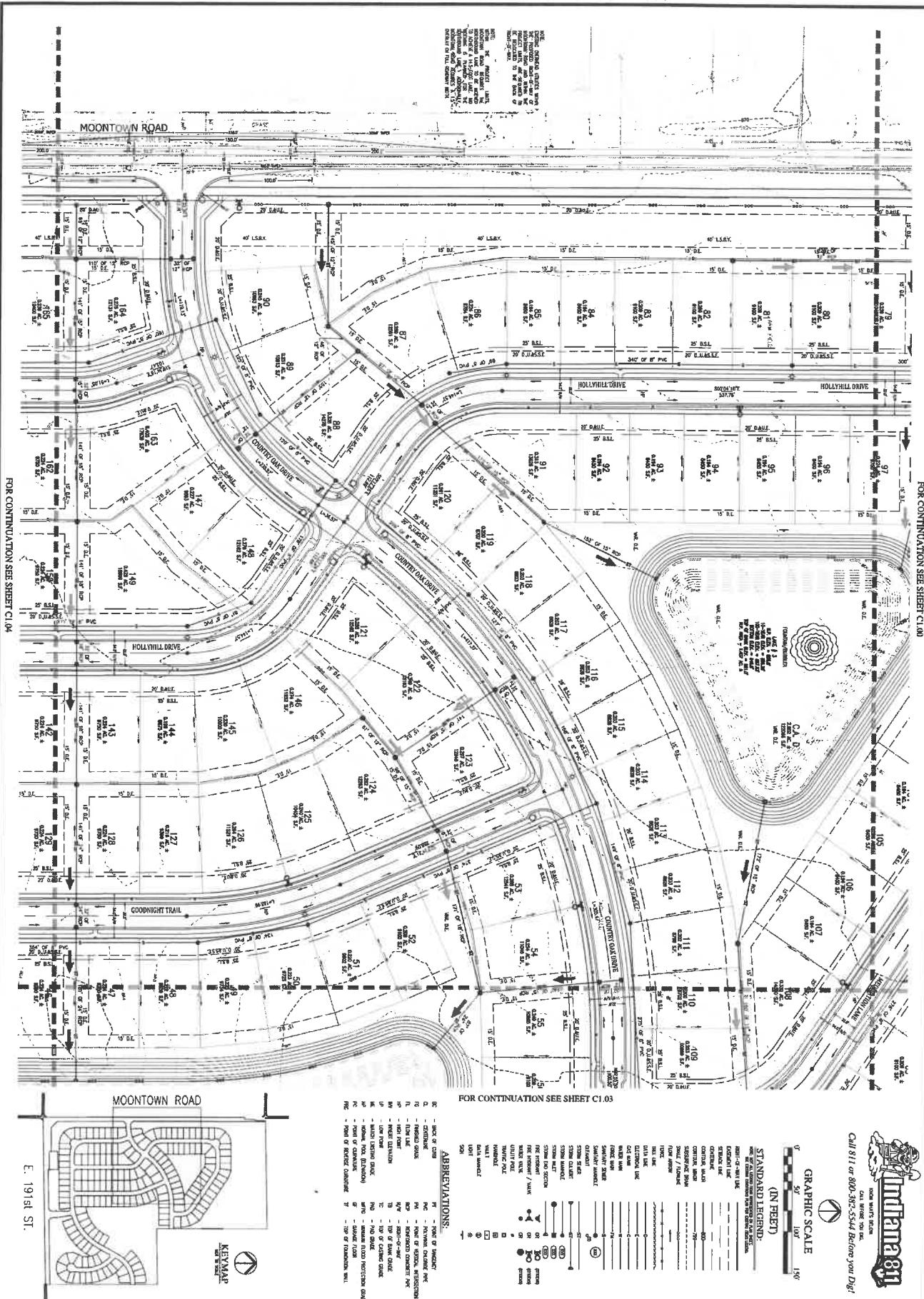
HWC
Engineering
Professional Corporation



C1.00		DEVELOPMENT PLAN															
		REVISIONS															
		<table border="1"> <tr><td>DATE</td><td>DESCRIPTION</td><td>BY</td></tr> <tr><td>4/20/2025</td><td>Initial Submission</td><td>J. Joyce</td></tr> <tr><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td></tr> <tr><td></td><td></td><td></td></tr> </table>		DATE	DESCRIPTION	BY	4/20/2025	Initial Submission	J. Joyce								
DATE	DESCRIPTION	BY															
4/20/2025	Initial Submission	J. Joyce															
PLANNED BY:	ROBERT JASON	DESIGNED BY:	S. L. LEE														
TYPE:	LEADER	APPROVED BY:															
CHIEF CHECKED BY:	LEADER	APPROVED DATE:															
JOB NUMBER:	2024-394-S	SCALE:	AS SHOWN														
SHEET:	1																

**BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA**
DEVELOPMENT PLAN





BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA

DEVELOPMENT PLAN

REVISIONS

Date	Description	By
4/23/2025	Initial Release	NIC
4/23/2025	REVISION 1: GRAVITY SEWER	J. YOUNG

JOHN H. YOUNG, P.E.
PARKER, YOUNG & SONS, INC.
REGISTERED ENGINEERS & SURVEYORS
STATE OF INDIANA
DR. IN. CO. IN.

RICHARD JASCIO
LESPROSIS LTD.

CHIEFED BY
DATE: JANUARY 14, 2025
SCALE: 1:400
SHEET: C1.02

JOB NUMBER: 2024-394-S

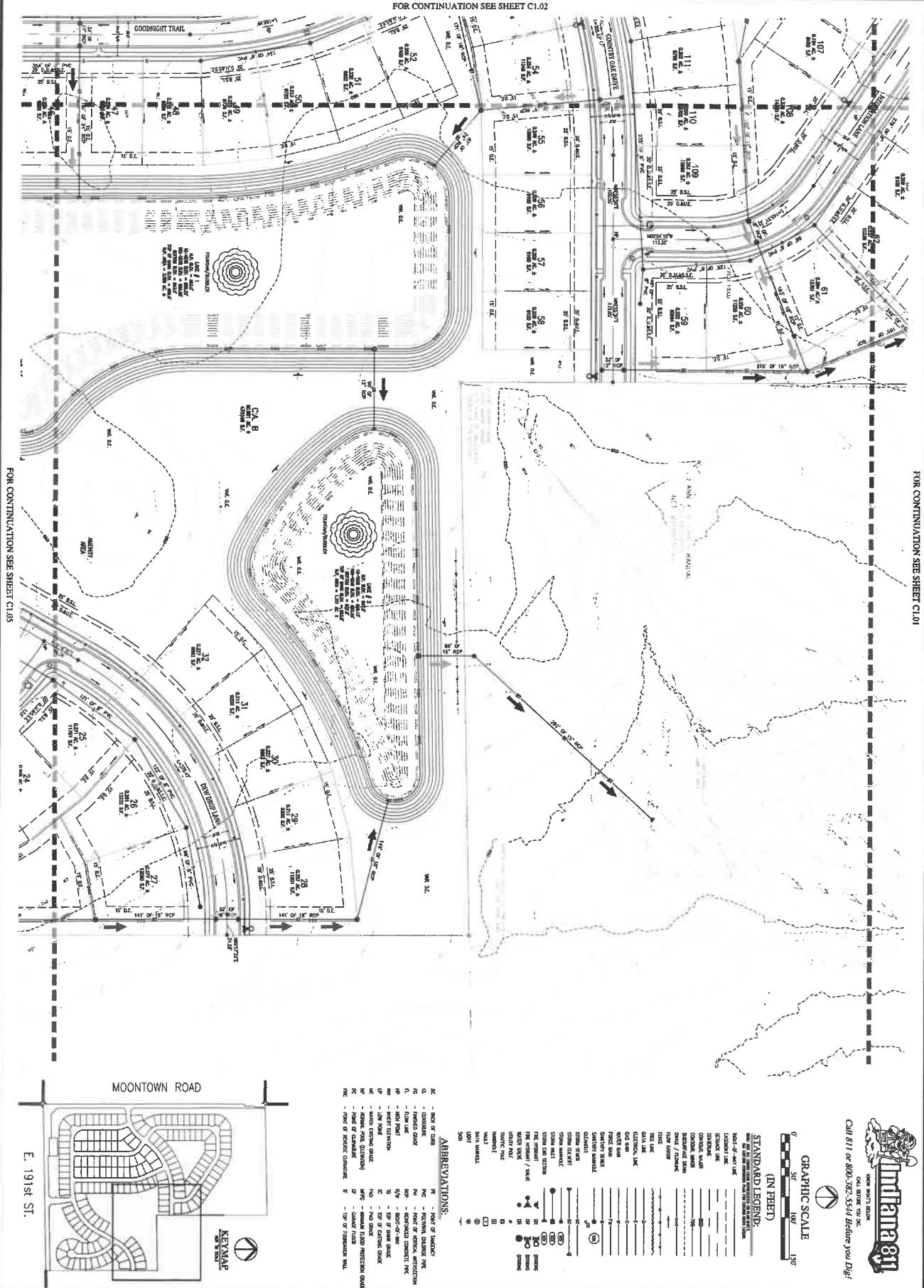
REVISIONS

Date	Description	By
4/23/2025	Initial Release	NIC
4/23/2025	REVISION 1: GRAVITY SEWER	J. YOUNG

C1.02

DEVELOPMENT PLAN

FOR CONTINUATION SEE SHEET C1.02



FOR CONTINUATION SEE SHEET C1.01



Call 811 or 800-382-5544 Before you Dig!

REVISIONS

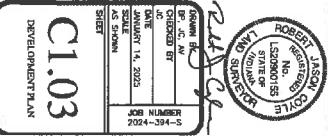
DATE	DESCRIPTION	BY
04/14/2025	Initial Submission	Joyce

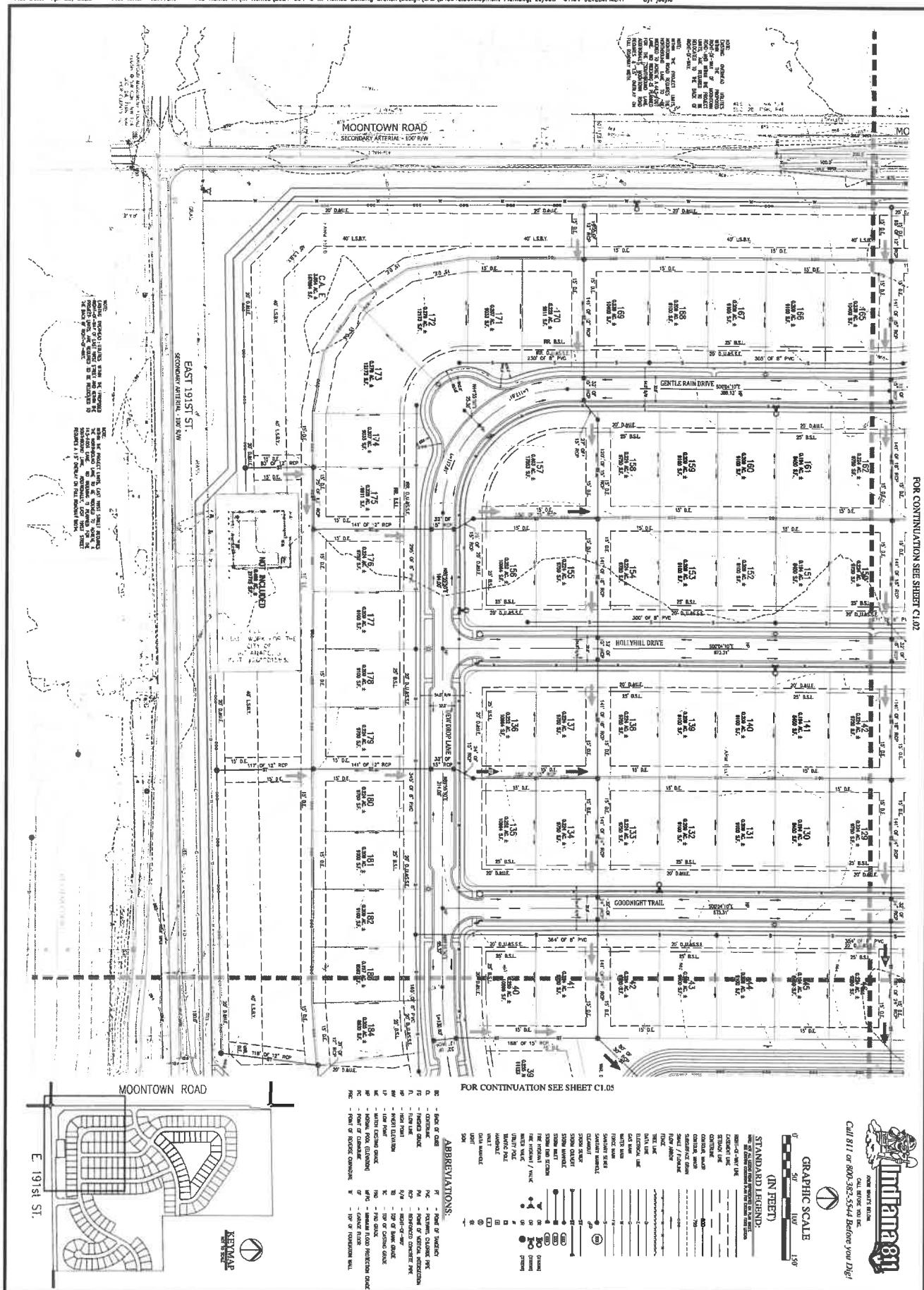


BENDING BRANCH - EAST 191ST STREET CITY OF NOBLESVILLE, INDIANA

DEVELOPMENT PLAN

C1.03
DEVELOPMENT PLAN





FOR CONTINUATION SEE SHEET C1.05

ABBREVIATIONS

B	BACK LOT
C	COMMON CORNER
D	DEPARTMENT STORE
E	EDUCATIONAL INSTITUTION
F	FACTORY
G	GOVERNMENT BUILDING
H	HOSPITAL
I	INDUSTRIAL CONCRETE PILE
J	JEWELER
K	KEY POINT
L	LEVEL ELEVATION
M	MILITARY
N	NEIGHBORING PROPERTY LINE
P	POST OFFICE
R	RAILROAD CROSSING
S	SHIRTWAIST
T	THEATRE
V	VISUAL CONNECTION
W	WATER TOWER
Z	ZINC PLATE
*	OPEN
+	CLOSED



FOR CONTINUATION SEE SHEET C1.02

REVISIONS

DATE	DESCRIPTION	BY
JANUARY 14, 2025	DEVELOPMENT PLAN	MC
AS SHOWN		

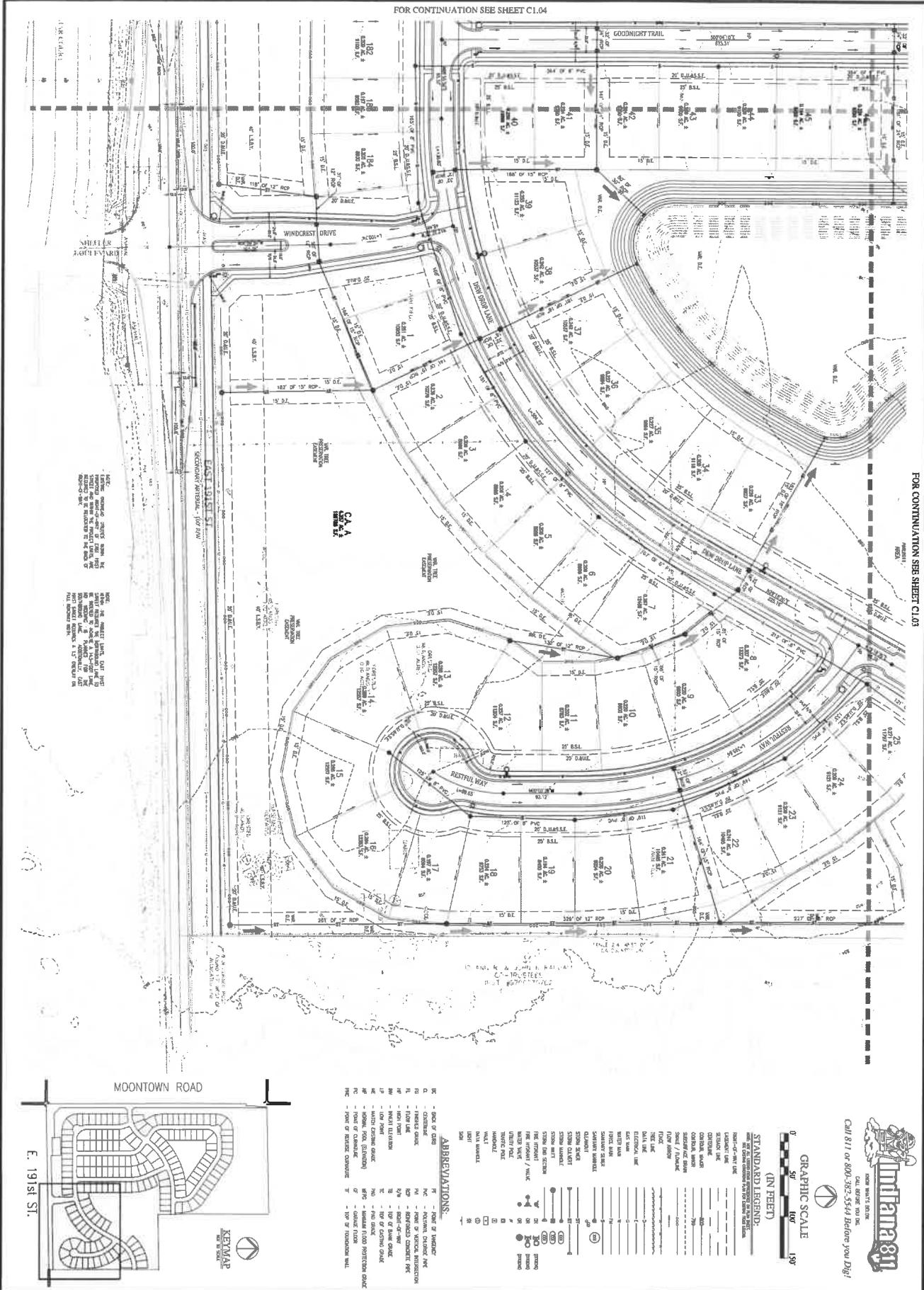
245

JOHN L. JONES CIVIL SURVEYOR REG. NO. 55 STATE OF INDIANA D.C. 147	ROBERT JASNO PE, REG. NO. 55 CIVIL SURVEYOR STATE OF INDIANA D.C. 147
PRINTED IN U.S.A.	PRINTED IN U.S.A.
JOHN L. JONES CIVIL SURVEYOR REG. NO. 55 STATE OF INDIANA D.C. 147	ROBERT JASNO PE, REG. NO. 55 CIVIL SURVEYOR STATE OF INDIANA D.C. 147
JOHN L. JONES CIVIL SURVEYOR REG. NO. 55 STATE OF INDIANA D.C. 147	ROBERT JASNO PE, REG. NO. 55 CIVIL SURVEYOR STATE OF INDIANA D.C. 147

C1.04

BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
DEVELOPMENT PLAN

FOR CONTINUATION SEE SHEET C1.04



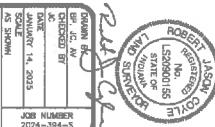
Call 811 or 800-362-5544 Before you Dig!

Call before you dig.

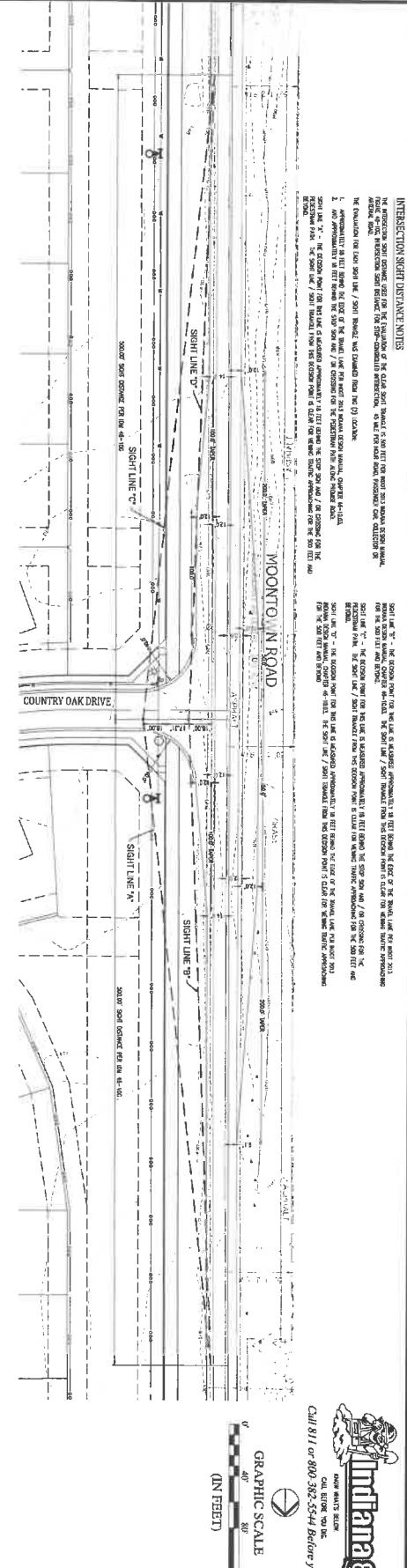
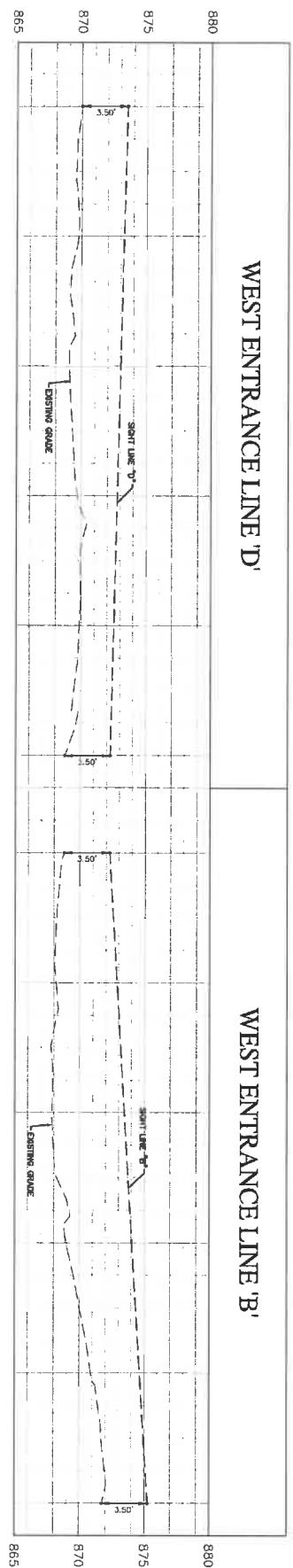
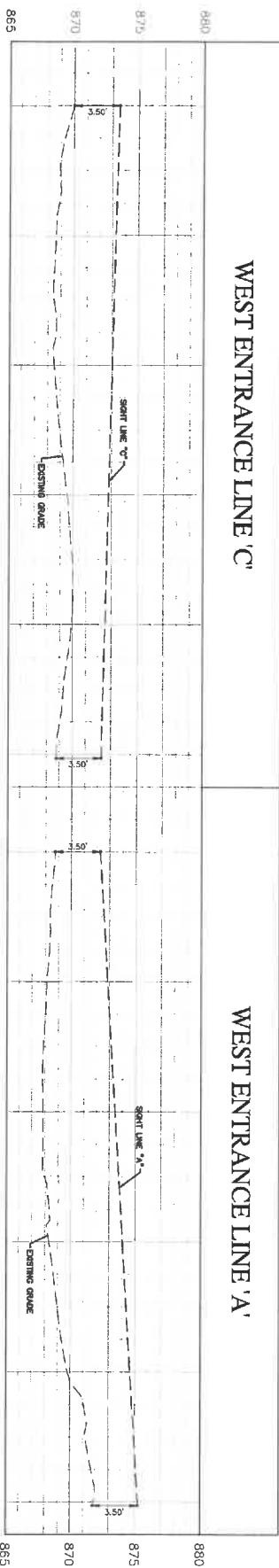
BENDING BRANCH - EAST 191ST STREET CITY OF NOBLESVILLE, INDIANA

DEVELOPMENT PLAN

C1.05
DEVELOPMENT PLAN

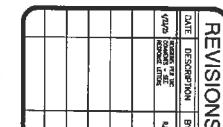


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DATE	DESCRIPTION BY

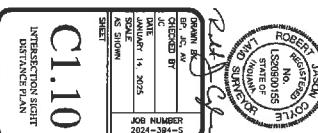


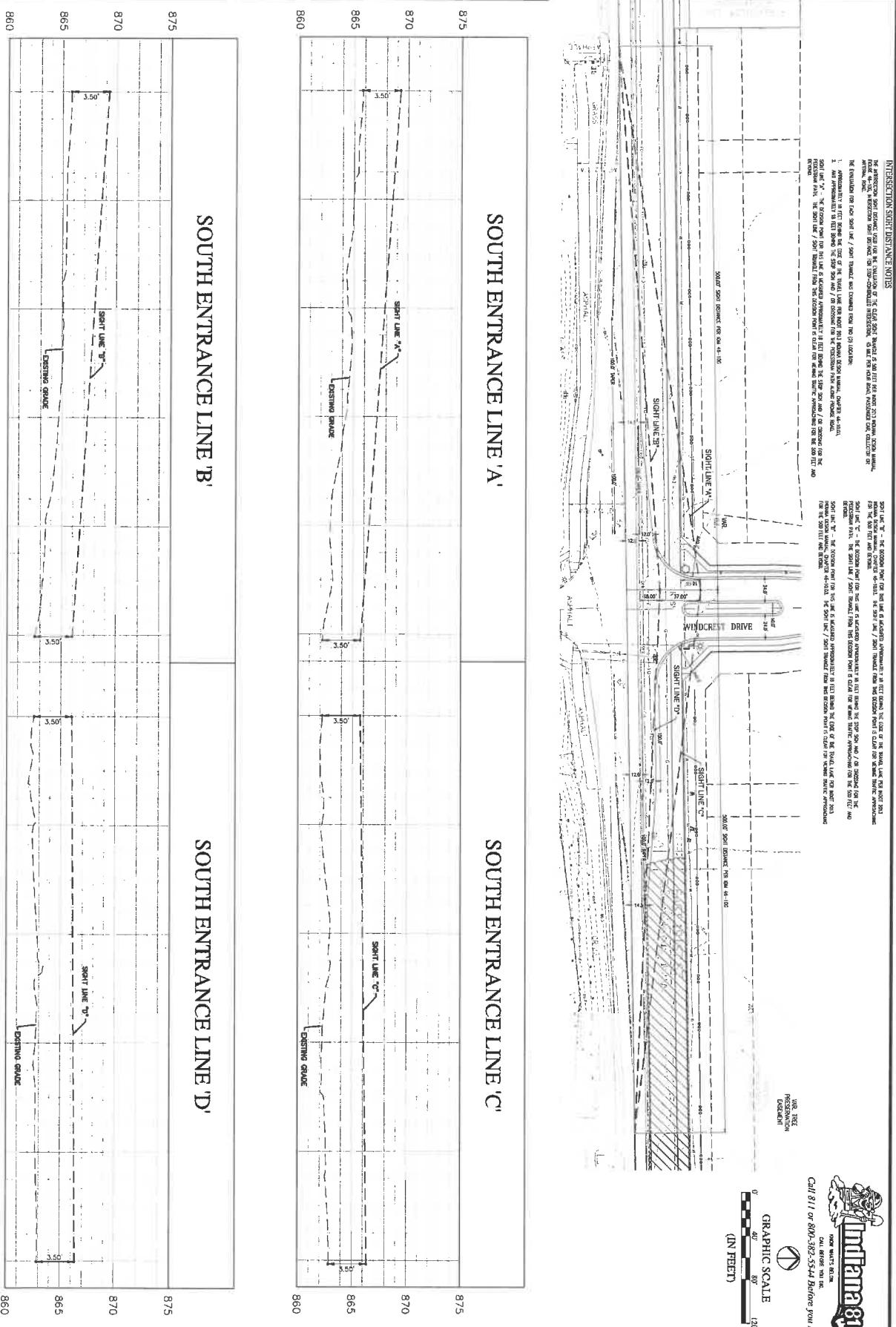
Call 811 or 800.382.5544 Before you Dig!
Know Where Below.

REVISIONS	
DATE	DESCRIPTION BY
VERB	REVISIONS BY
REASON FOR REVISION	AC
REVISION NUMBER	REV
REVISION DATE	REV DATE
REVISION COMMENTS	REV COMMENTS



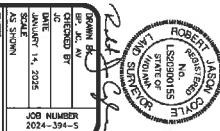
**BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA**
**PRELIMINARY DEVELOPMENT PLAN SET
INTERSECTION SIGHT DISTANCE PLAN**





C1.11

INTERSECTION SIGHT
DISTANCE PLAN

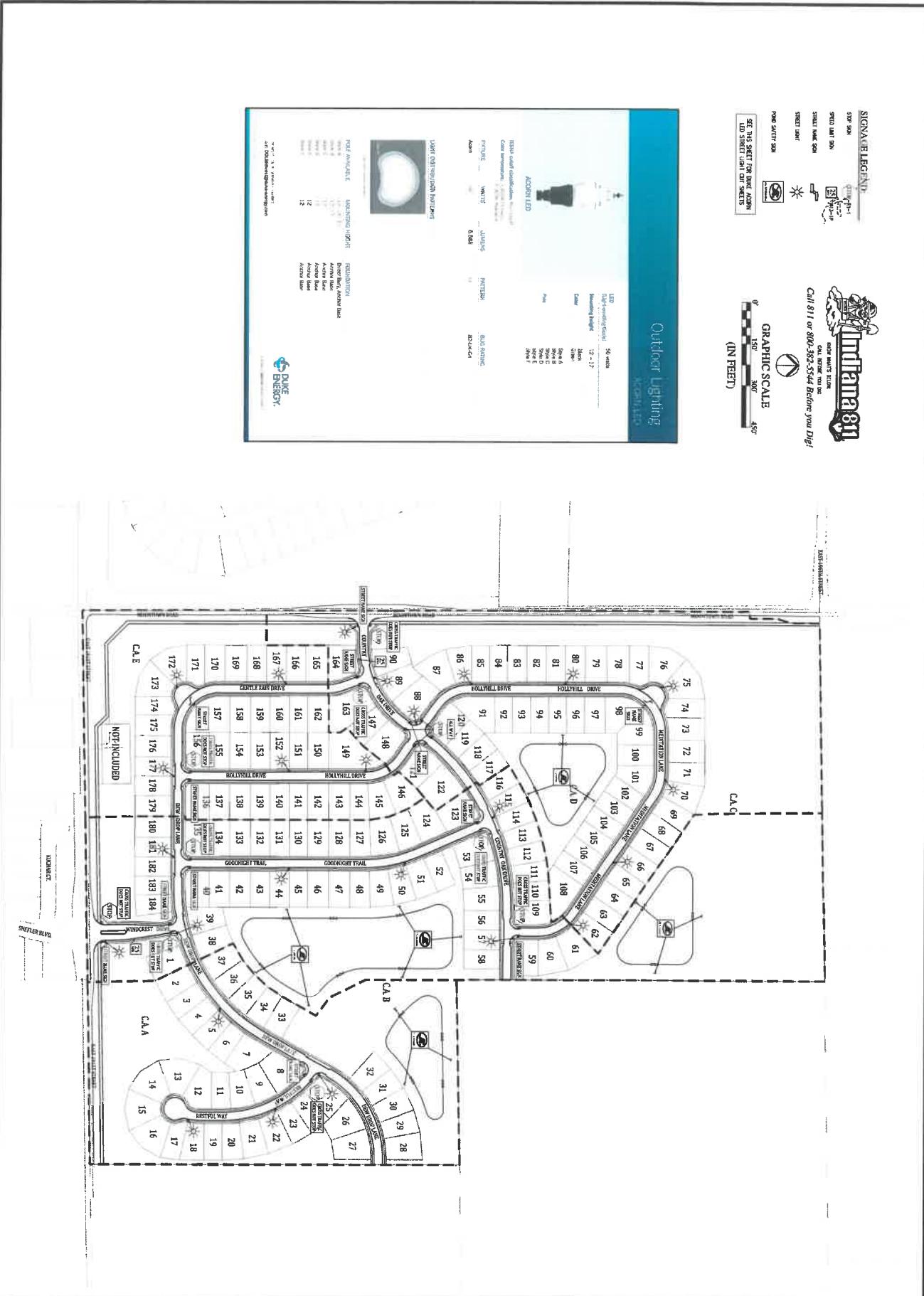


BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
INTERSECTION SIGHT DISTANCE PLAN

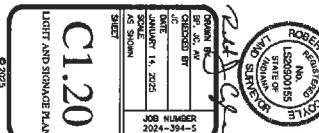


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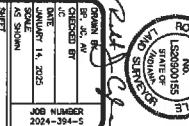


BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
LIGHT AND SIGNAGE PLAN



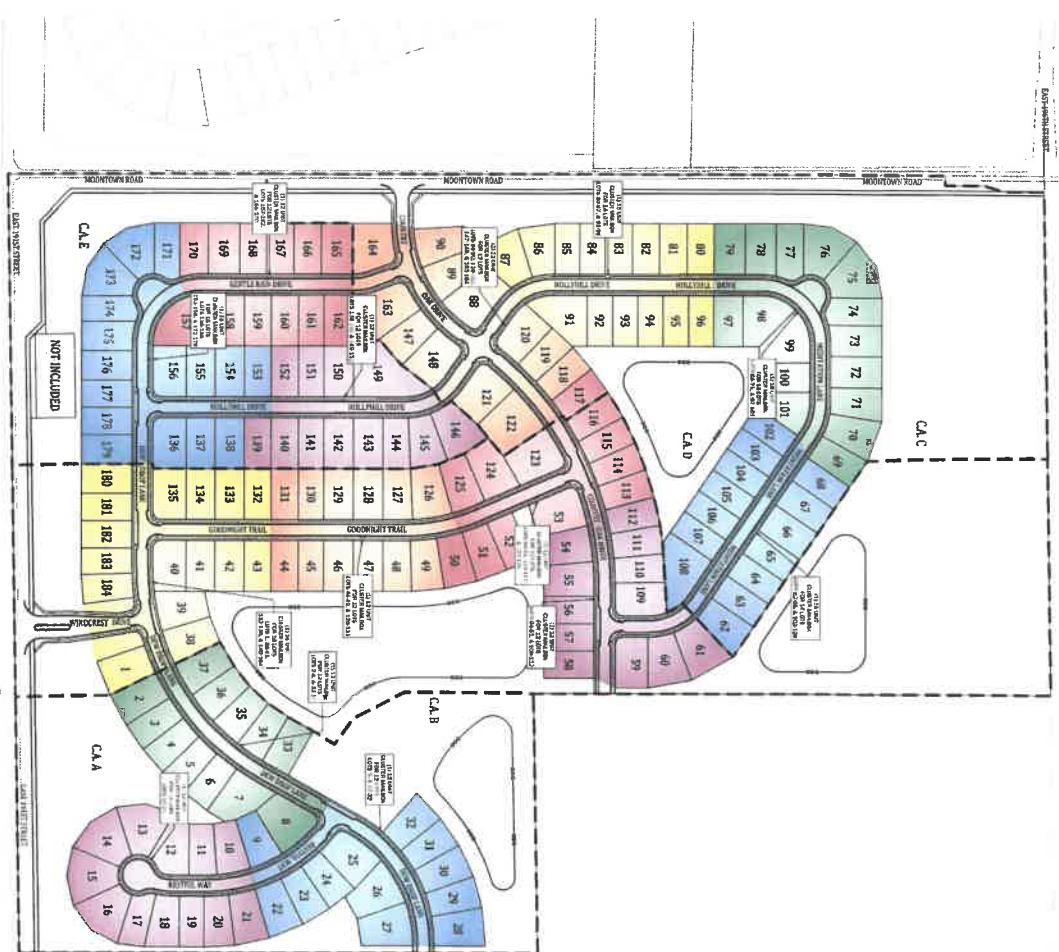
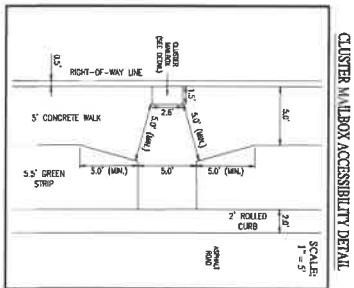
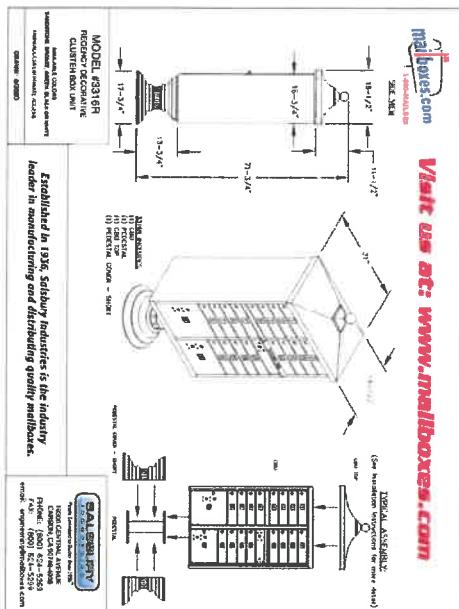
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LIGHT AND SIGNAGE PLAN

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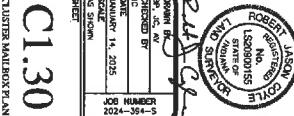


JOHN R. HARRIS
AUDITOR OF STATE
RECEIVED BY
DATE
JULY 15, 2025
SCALE
1:2000
SHEET

2024-394-5



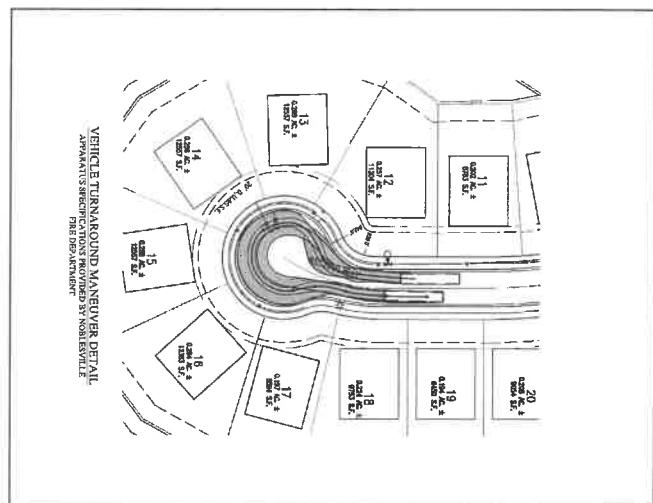
BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
CLUSTER MAILBOX PLAN



C1.30
CLUSTER MAILBOX PLAN

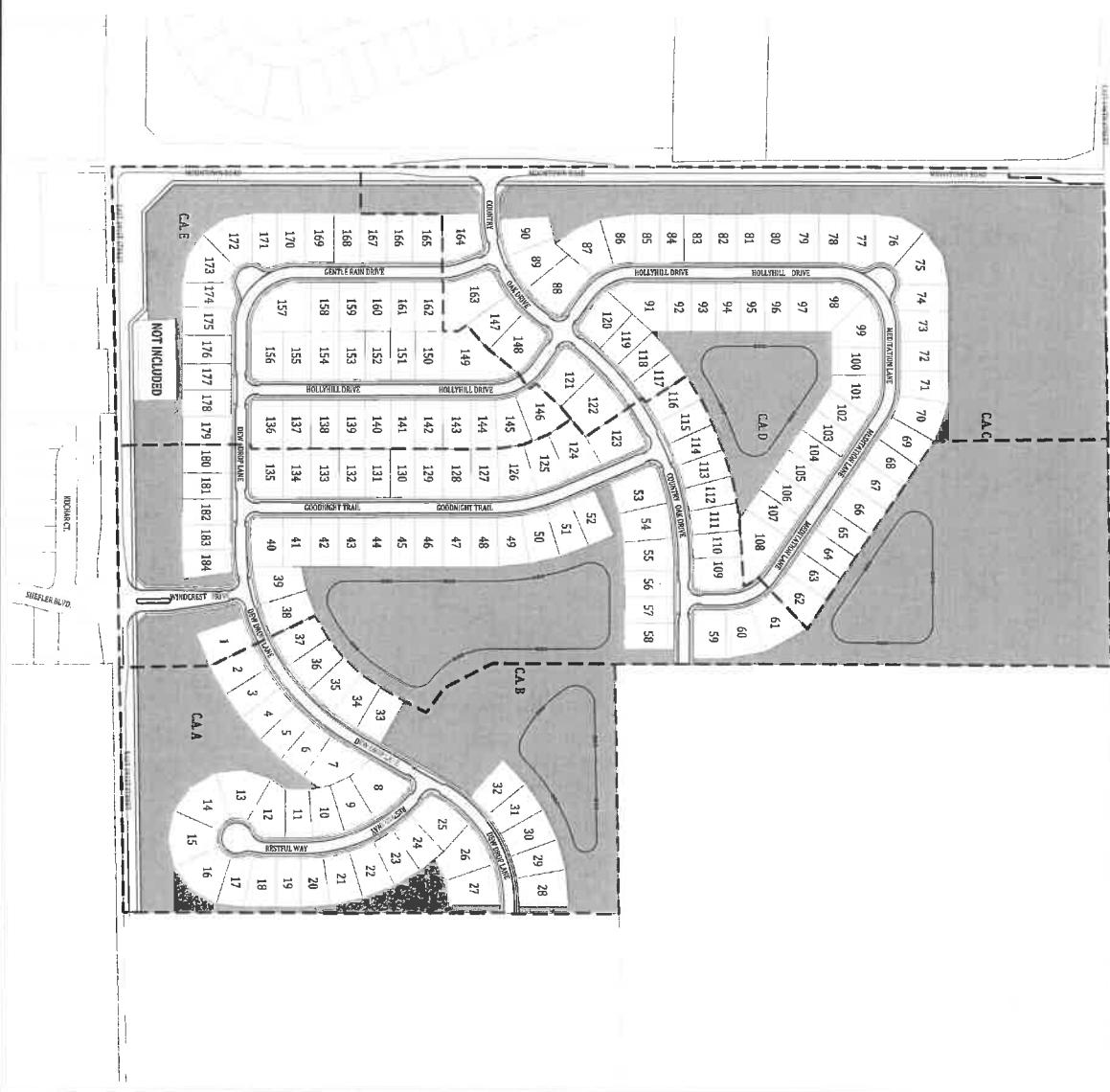


REVISONS	
DATE	DESCRIPTION BY



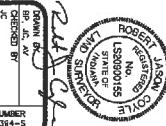
GRAPHIC SCALE
(IN FEET)
0' 150' 300' 450'

40% = OPEN SPACE, 40.04 AC.
TOTAL AREA = 100.25 AC.



BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
OPEN SPACE PLAN

C1.40
OPEN SPACE PLAN



REVISIONS	
DATE	DESCRIPTION



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A vertical graphic scale labeled "GRAPHIC SCALE" at the top. The scale has markings at 0', 150', 300', and 450'. Below the scale, the text "(IN FEET)" is written in parentheses.

PHASING NARRATIVE

PAGE 1 / SECTION

STANLEY C. COOPER JR. 105

אלה יתרכז ערך / מילון

SEZIONE 2 CENSUS 95

PHASE 3/SECTION 3
WALL CONSTRUCTION IN APPROVAL OF CONSTRUCTION PLANS -
TRIANGLE DURING THIS QUARTER OF 2006 THE SANITARY SEWER
FOR SECTION 2 CONNECTS TO THE SANITARY SEWER
CONSTRUCTED WITH SECTION 1. THE STORMWATER RUNOFF WOULD BE
DIRECTED TO AN ADDITIONAL POND AND THE TWO PONDS
CONSTRUCTED WITH SECTION 1. THE DETAILED DEVELOPMENT PLAN
FOR SECTION 2 WILL PROMOTE THE NECESSARY MEASURES.

MUD CREEK IN A
TEMPORAL PERSPECTIVE

SEARCHING FOR SECTION 1 C

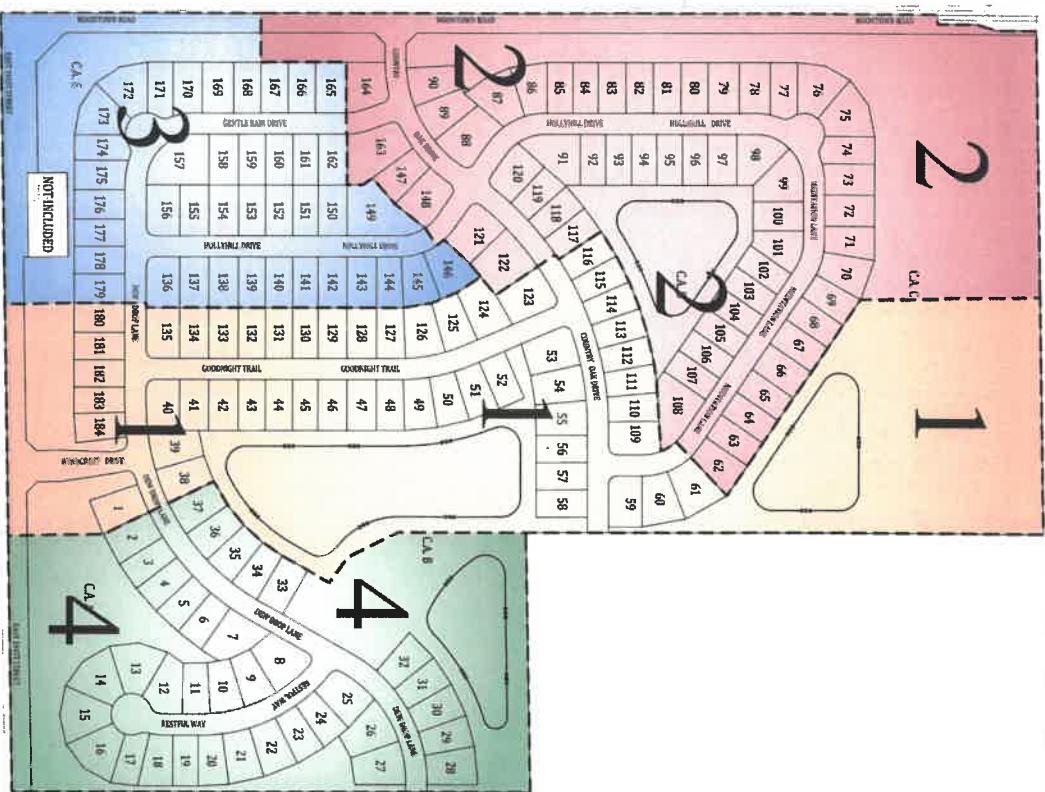
PHASE 4 SECTION 4

CONSTRUCTED WITH SECTIONS 1 AND 2. THE STORMWATER RAMP WOULD BE ADDED TO THE THREE PREVIOUSLY CONSTRUCTED PRIMS WITH SECTIONS 1 AND 2. THE DETAILED DEVELOPMENT PLAN FOR SECTION 3 WILL FOLLOW THE NECESSARY DEADS.

TENTATIVELY DURING THE
SEWER FOR SECTION 4 OF

SEWER FOR SECTION 4 C

SECTION 4 CONSISTING OF 47 ACRES, WHICH WILL BE CONSTRUCTED AS A POND. THE POND WILL BE USED FOR FISHING AND SWIMMING. THE POND WILL ALSO BE USED FOR FARMING. THE POND WILL BE USED FOR FISHING AND SWIMMING. THE POND WILL ALSO BE USED FOR FARMING.

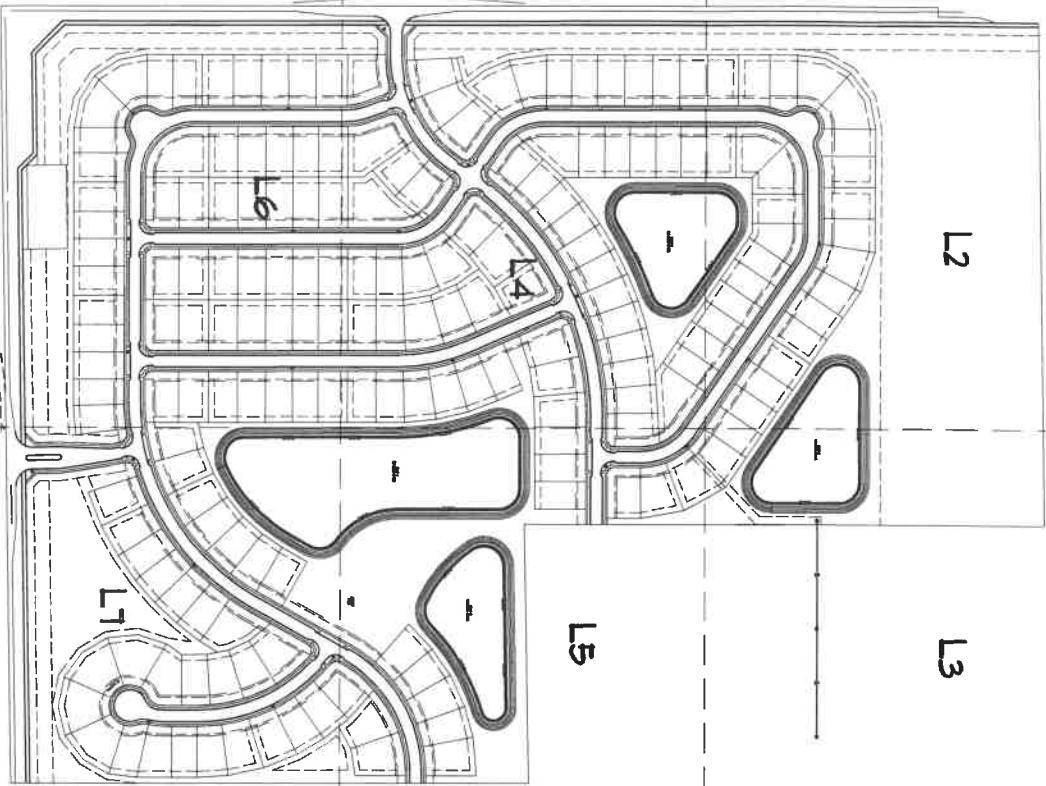


**BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA**

PRELIMINARY DEVELOPMENT PLAN SET PHASING PLAN

C1.50
PHASING PLAN

REVISIONS	
DATE	DISCRIPTION
1992	BY
08/02/92	AC.
DRAWING NO. 24C EQUIPMENT LISTS	



**TREES
PRESERVATION DETAIL**

ORIGINAL REF.	COMPONENT	ASPECT/NAME	SIZE (DIAM)	COMMIT
GT	PINE CONE	SERRA ARBORA	10' CL.	10
CT	RED CYPRESS	THUJA OCCIDENTALIS	2'-12"	10
H4	MONTEGO BAY SHADE TREE	ABIES ALBA SUBLIMIFOLIA	3'-17"	20
CO	OCTOPUS LEAF HAWAIIAN	AGAVE PARENCHEMA	2'-17"	20
R2	RED OAK	QUERCUS RUBRA	3'-17'	10

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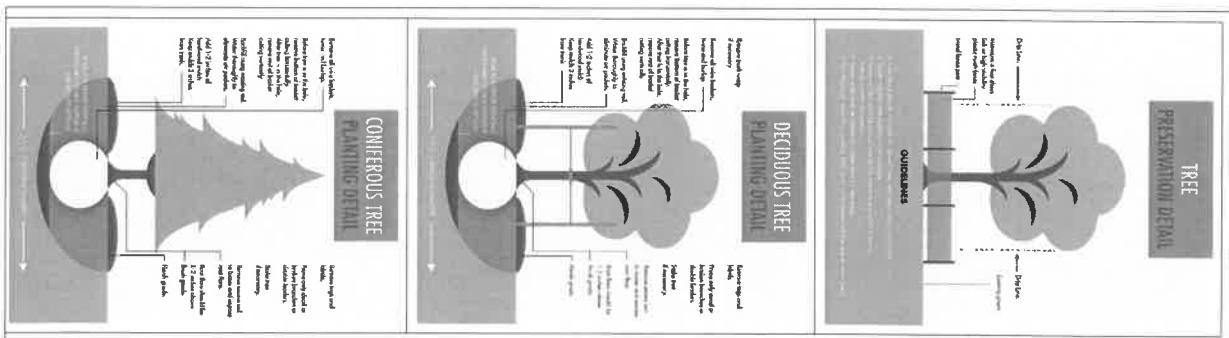


PLANT SCHEDULE

ORIGINAL REF.	COMPONENT	ASPECT/NAME	SIZE (DIAM)	COMMIT
15	MOUNTAIN LAUREL	SYRINGA MOLINA	1'-10"	11
62	SPRING BLOOMING HAWAIIAN SHADE TREE	ABIES ALBA X GRANDIFOLIA	3'-17"	14
92	WHITE OAK HAWAIIAN	QUERCUS RUBRA	3'-17'	10

ORIGINAL REF.	COMPONENT	ASPECT/NAME	SIZE (DIAM)	COMMIT
C1	BLACK BEED GLASSMANN	ABIES ALBA X GRANDIFOLIA	3'-14"	40%
16	KOOLAU HORSEFACIAL	DONALD X KOOLAU	3'-14"	22
L	DUKE KAHANI HAWAIIAN	SYRINGA PETER PANIK	3'-14"	20
Y	LEAVES-LEAF HAWAIIAN	VIBURNUM X RUBET	2'-14"	40%

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**CONIFEROUS TREE
PLANTING DETAIL**

For more information on this product, visit www.coniferous.com.
Planting instructions:
Soil: Well-drained soil with a pH of 6.5 to 7.5.
Sunlight: Full sun to part shade.
Water: Water regularly until established.
Fertilizer: Fertilize in early spring with a balanced fertilizer.
Pruning: Prune dead or damaged branches in late summer or fall.
Maintenance: Remove weeds and debris around the base of the tree.

PROJECT NAME
BENDING BRANCH

NOBLESVILLE, IN

DESIGNER
THOMAS FELLEGY, PLA

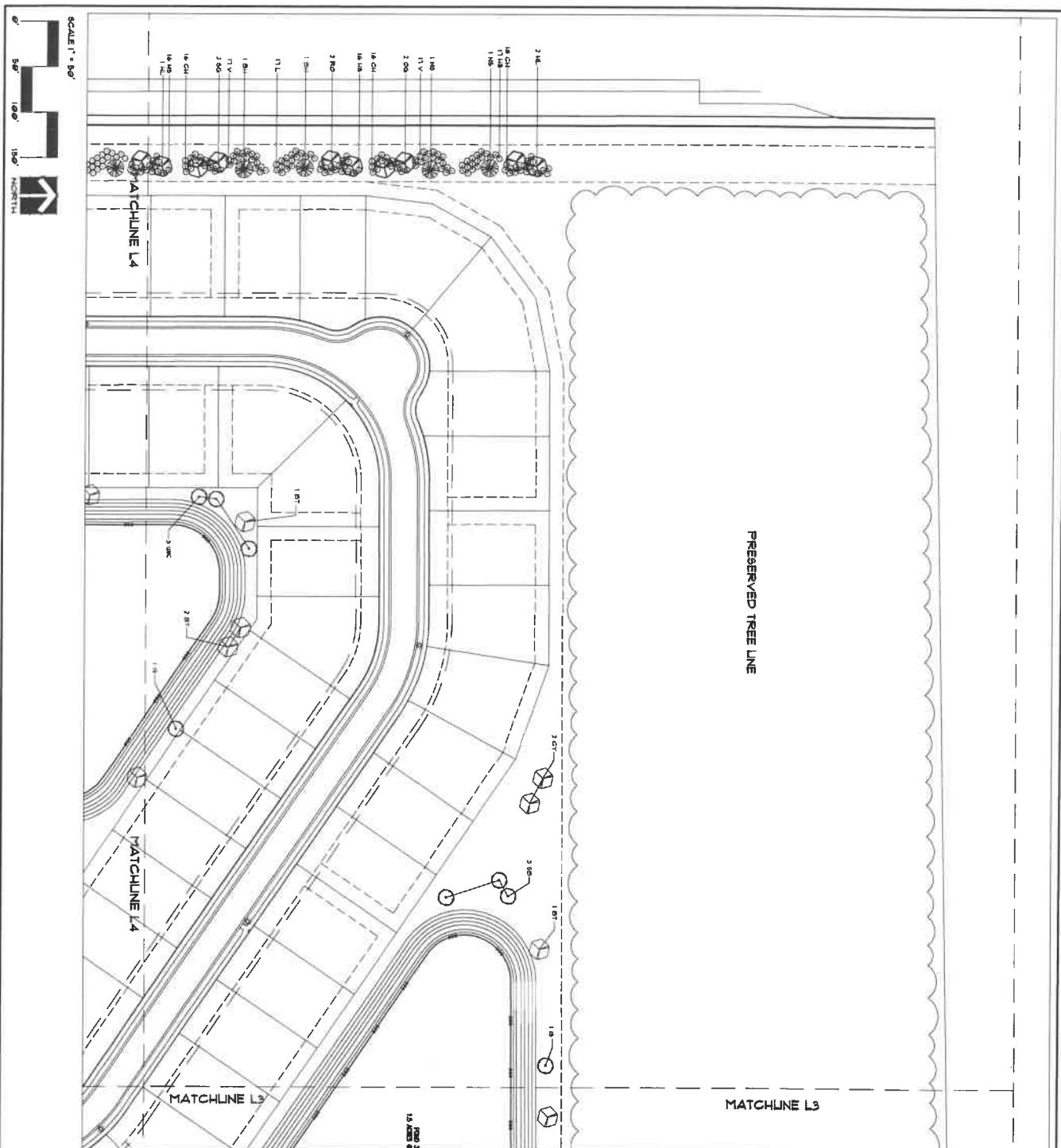
SHEET NAME

LANDSCAPE PLAN

DATE: MAY 23, 2015

L1
SHEET

NORTH
↑



PLANT SCHEDULE					
SYMBOL / KEY	CORPORATE NAME	SCIENTIFIC NAME	SIZE	QUANTITY	NOTES
BT	PIREDBUSH	OPHILIA MAEVA	6' CL	10	LANDSCAPING WALL FLOWERS, WOOD FLOWERS, WILDFLOWERS, WILDFLOWERS IN PLANTERS
CT	BALI CYPRESS	THYMELAEUS CYPRUS	7' HGT	10	LANDSCAPING WALL FLOWERS, WILDFLOWERS, WILDFLOWERS
HL	HONEY LOCUST	ULMUS GLabra	7' HGT	25	LANDSCAPING WILDFLOWERS
OO	OCCIDENTAL OLIVE	OLIVE OLEASTER	7' HGT	34	LANDSCAPING WILDFLOWERS
RQ	RED CORK	OLIVEACEA RUBRA	7' HGT	38	LANDSCAPING WILDFLOWERS
SG	SWEET GUM	Liquidambar STYRACIFLUA	20' HGT	22	LANDSCAPING WILDFLOWERS

ORNAMENTAL TREES

SHRUBS

EVERGREEN TREES

GRASSES

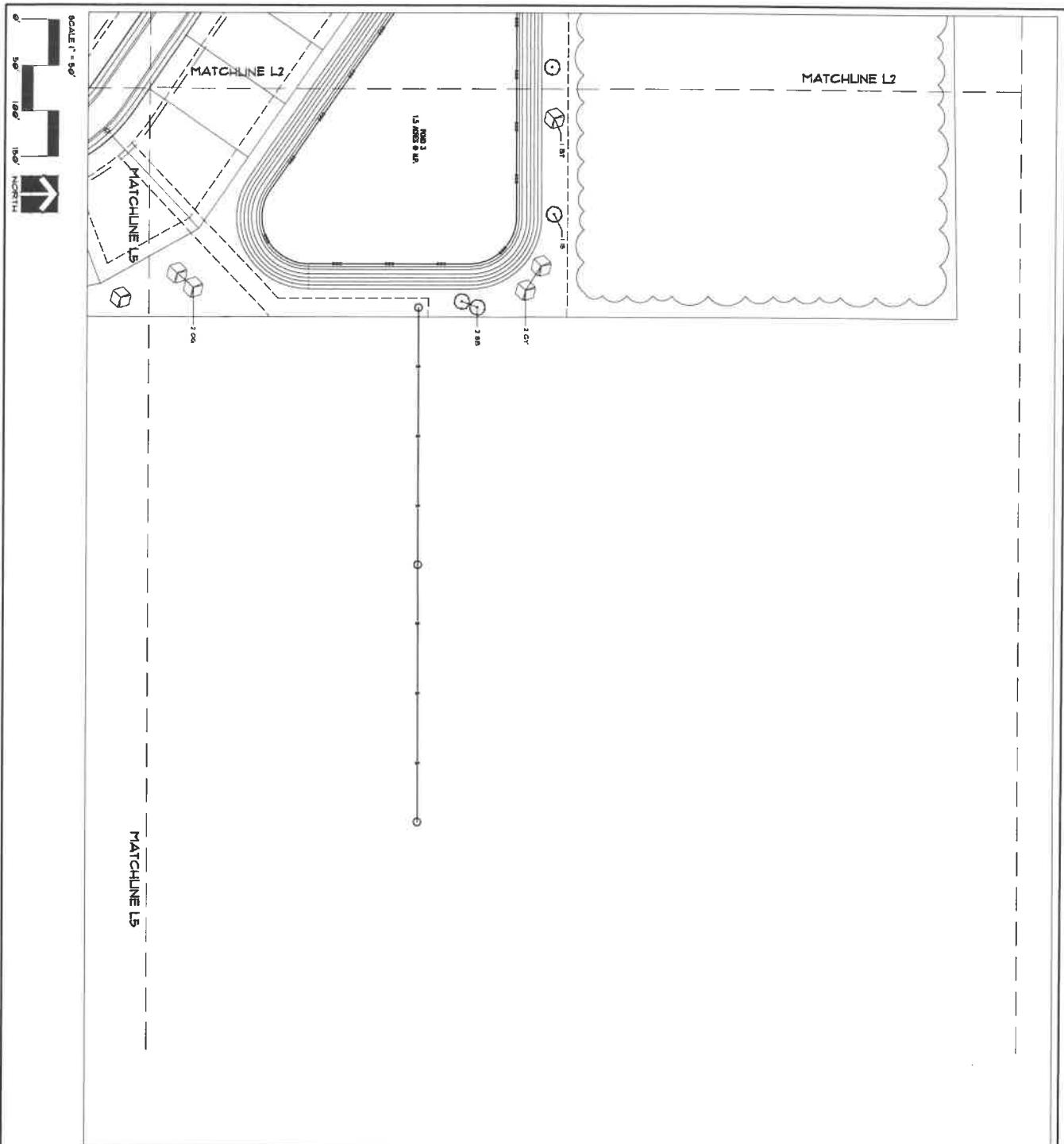
PERENNIALS

ANNUALS

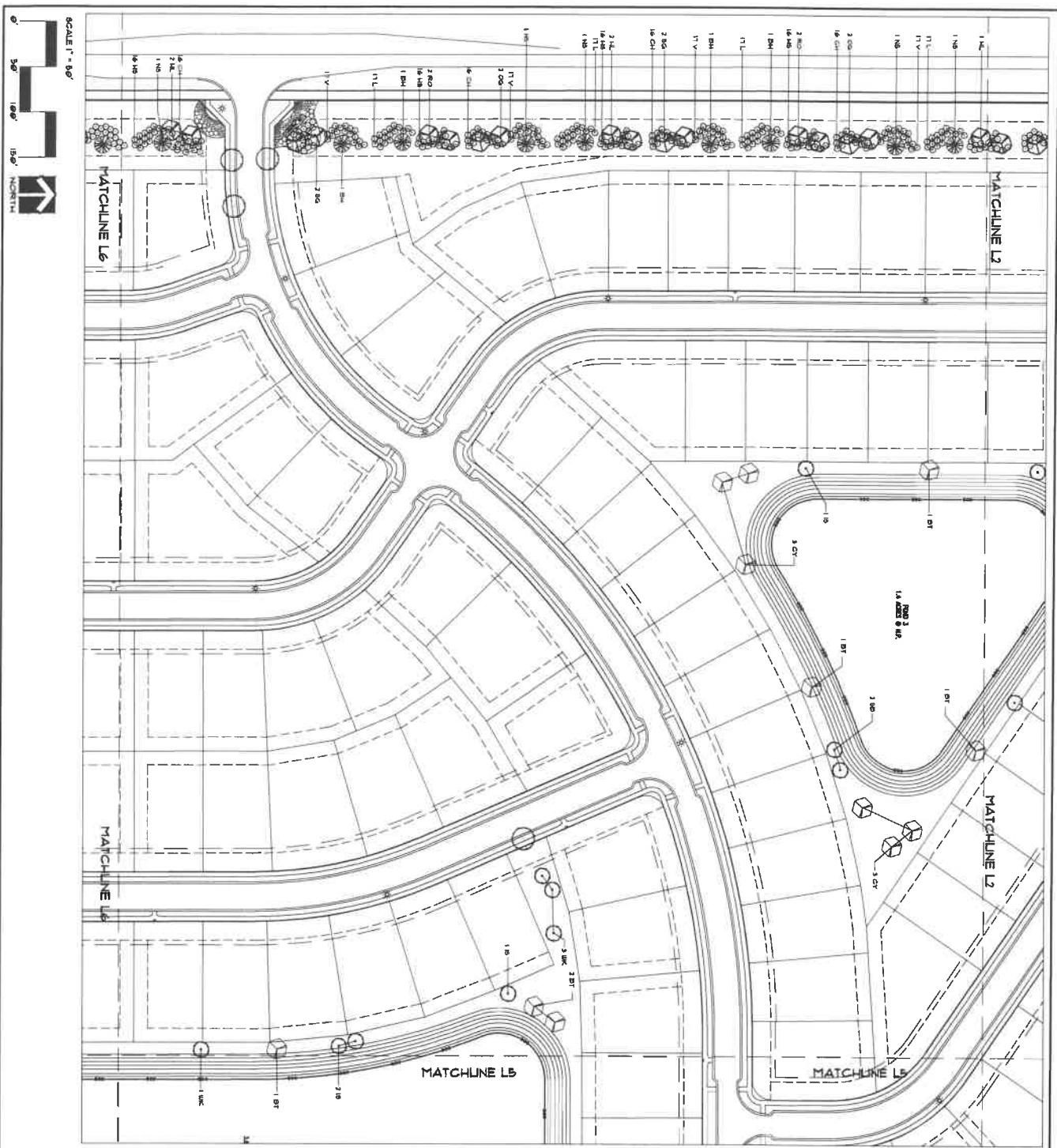
DESIGNER		SHEET NAME		PROJECT NAME	
THOMAS FELLEGY, PLA		LANDSCAPE PLAN		BENDING BRANCH	
DATE: MAY 25, 2025		NOBLESVILLE, IN			

L2

SHEET

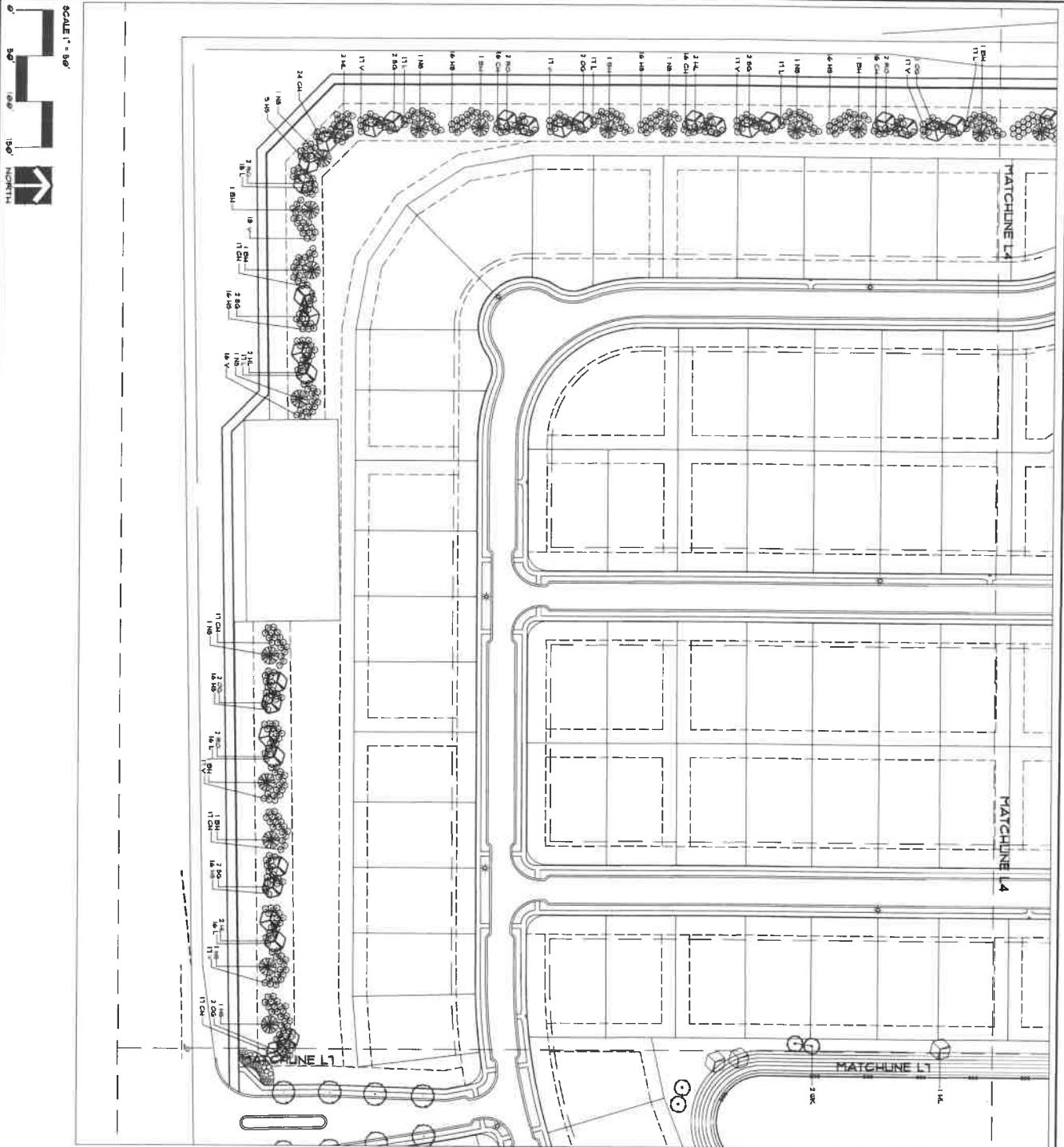


PLANT SCHEDULE							
SYMBOL	KEY	CORPORATE NAME	SCENIC NAME	SIZE	QUANTITY		
SHADE TREES							
	BT	REDBUD	BETULA NIGRA	4'-6"	14		
	CT	BALD CYPRESS	TAXODIUS DENSIFLORUS	2'-12"	18		
	HL	HORNBEAM	MULBERRY	2'-12"	15		
	OC	ORCUTT'S SORREL	ACER SACCHARINUM	2'-12"	20		
	RQ	RED OAK	QUERCUS RUBRA	2'-12"	30		
	SG	SWEET GUM	Liquidambar Styraciflua	2'-12"	22		
ORNAMENTAL TREES							
	W	IVY LEAF BUCKEYE	STAPHISAGRIA BUCCELLATA	1'-12"	11		
	SAH	NEW-ZEALAND KIWI	AEGLE MARMILLATA	1'-12"	14		
	SL	SPRING BLOOMING LILY	DICENTRA SPURIA	1'-12"	15		
	UC	WHITE FLOWERING CHERRY	PRUNUS KOREANA	1'-12"	10		
	PU	BLACK BALSAMIC	PERILLA FRutescens	4'	10		
	MA	MONKEY POD	MORINDA CITRIFOLIA	6'	10		
BARRIER							
Evergreen Plant Requirements							
SPECIES PLANT REQUIREMENTS							
POSITION NO. PER SQ.FT.							
12 FT. PERIMETER: 100 FT. X 100 FT. = 10,000 SF							
10 FT. PERIMETER: 100 FT. X 80 FT. = 8,000 SF							
8 FT. PERIMETER: 100 FT. X 60 FT. = 6,000 SF							
6 FT. PERIMETER: 100 FT. X 40 FT. = 4,000 SF							
4 FT. PERIMETER: 100 FT. X 20 FT. = 2,000 SF							
2 FT. PERIMETER: 100 FT. X 10 FT. = 1,000 SF							
INTERIOR: 100 FT. X 100 FT. = 10,000 SF							
PROJECT NAME: BENDING BRANCH							
DESIGNER: THOMAS FELLEGY, PLA							
DATE: MAY 25, 2020							
SHEET NAME: LANDSCAPE PLAN				NOBLESVILLE, IN			
L3				Sheet			

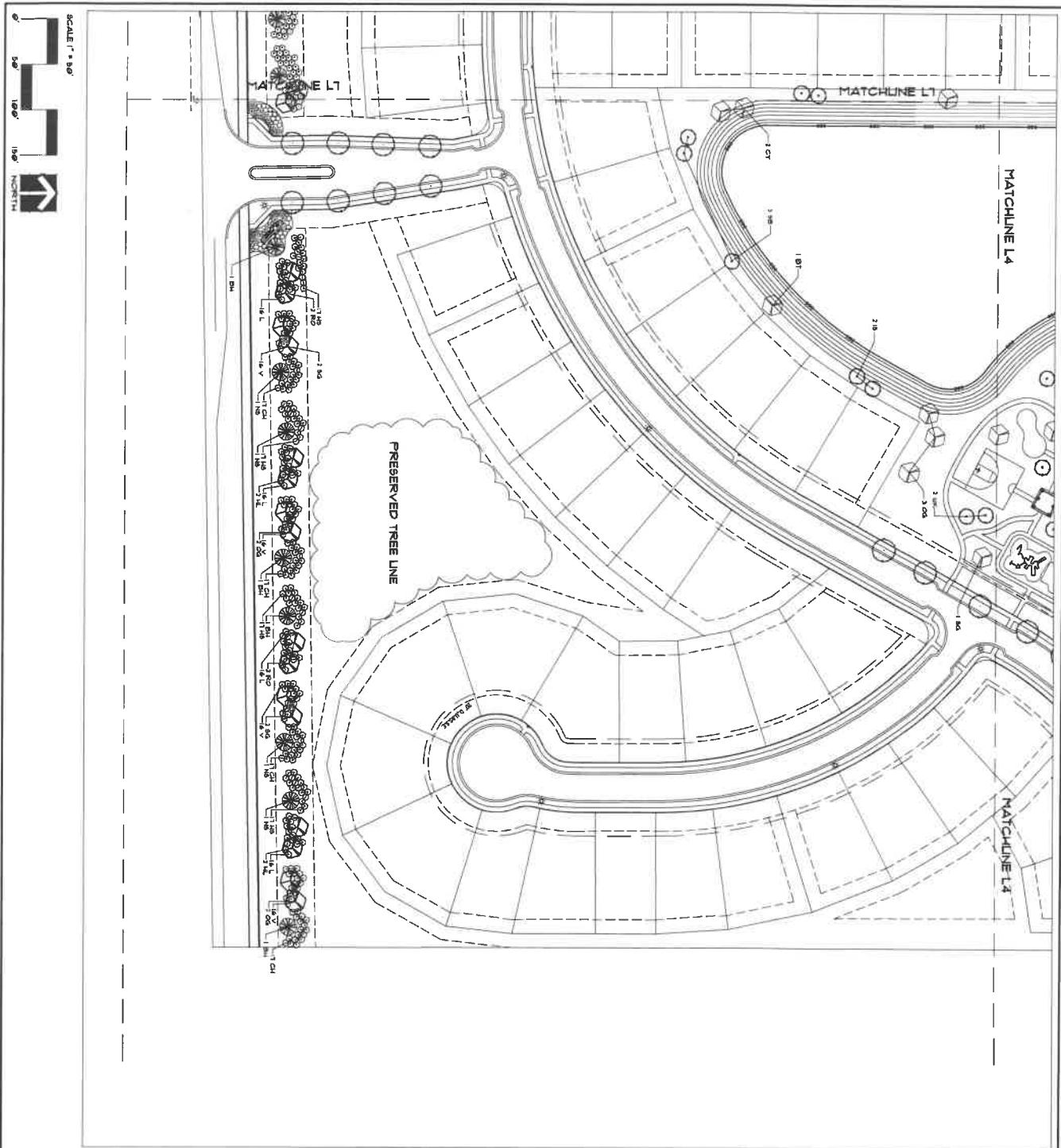


SPECIES	CAT.	COMMON NAME	SCREWBIN NAME	SIZE	QUANT.	PLANT SCHEDULE	
						SHADE TREES	UNDERSTORY
SHADE TREES	ST	WYOMING	SERIAL NUMBER	16' CL.	16		
SHADE TREES	CI	BALD CYPRESS	LAWNSIDE DENDRITY	2'-12"	18		
SHADE TREES	CL	MAHOGANY	OLIVEGREEN TROPICANA	2'-12"	26		
SHADE TREES	ML	INDIANAPOLIS	SHIMMERMASTER	2'-12"	26		
SHADE TREES	OD	OPPOSITES GLOW	ACE OF SPADES	2'-12"	26		
SHADE TREES	RD	RED OAK	CELESTE GLORY	2'-12"	30		
SHADE TREES	SC	SCOTTIA	GRANITE RUSTICA	2'-12"	30		
SHADE TREES	SP	SILKWOOD	LANDSCAPE SYCAMORE	2'-12"	22		
ORNAMENTAL TREES							
SHADE TREES	IN	WHITE BARK LILAC	SYNTHIA VERSATILE	1'-12"	11		
SHADE TREES	AD	ARMSTRONG'S ALDER	SYNTHIA JACK	1'-12"	14		
SHADE TREES	BL	BLACK BURNING BIRCH	SYNTHIA JACKSON	1'-12"	15		
SHADE TREES	NC	WHITE KNOB MULBERRY	SYNTHIA KAREN	1'-12"	19		
EVERGREEN TREES							
SHADE TREES	BL	BLACK BALSAM FIR	PINE ALASKA	6'	10		
SHADE TREES	NC	WHITE KNOB MULBERRY	PINE ALASKA	6'	10		
SHRUBS							
SHRUBS	CH	BLACKBERRY	PERENNIAL SPLENDOR	24"	484		
SHRUBS	CO	COCO PLUM	PERENNIAL SPLENDOR	24"	221		
SHRUBS	CO	KODIAK HORSESHOE PLATEAU	PERENNIAL SPLENDOR	24"	221		
SHRUBS	I	DAIRY LILAC	PERENNIAL SPLENDOR	24"	240		
SHRUBS	OC	LAVENDER YARROW	PERENNIAL SPLENDOR	24"	160		
SHRUBS	V	LAURELLEUR VIBURNUM	PERENNIAL SPLENDOR	24"	160		
DECIDUOUS SHRUBS							
DECIDUOUS SHRUBS	CH	BLACKBERRY	PERENNIAL SPLENDOR	24"	484		
DECIDUOUS SHRUBS	CO	COCO PLUM	PERENNIAL SPLENDOR	24"	221		
DECIDUOUS SHRUBS	CO	KODIAK HORSESHOE PLATEAU	PERENNIAL SPLENDOR	24"	221		
DECIDUOUS SHRUBS	I	DAIRY LILAC	PERENNIAL SPLENDOR	24"	240		
DECIDUOUS SHRUBS	OC	LAVENDER YARROW	PERENNIAL SPLENDOR	24"	160		
DECIDUOUS SHRUBS	V	LAURELLEUR VIBURNUM	PERENNIAL SPLENDOR	24"	160		

DESIGNER THOMAS FELLEGY, PLA	SHEET NAME LANDSCAPE PLAN	PROJECT NAME BENDING BRANCH	CONTRACTOR UNIVERSAL CONTRACTING 11101 N. 14th Street, Suite 100 Indianapolis, IN 46290 (317) 569-3333
DATE: MAY 23, 2020	NOBLESVILLE, IN		DESIGNED FOR M/I HOMES 11101 N. 14th Street, Suite 100 Indianapolis, IN 46290 (317) 569-3333

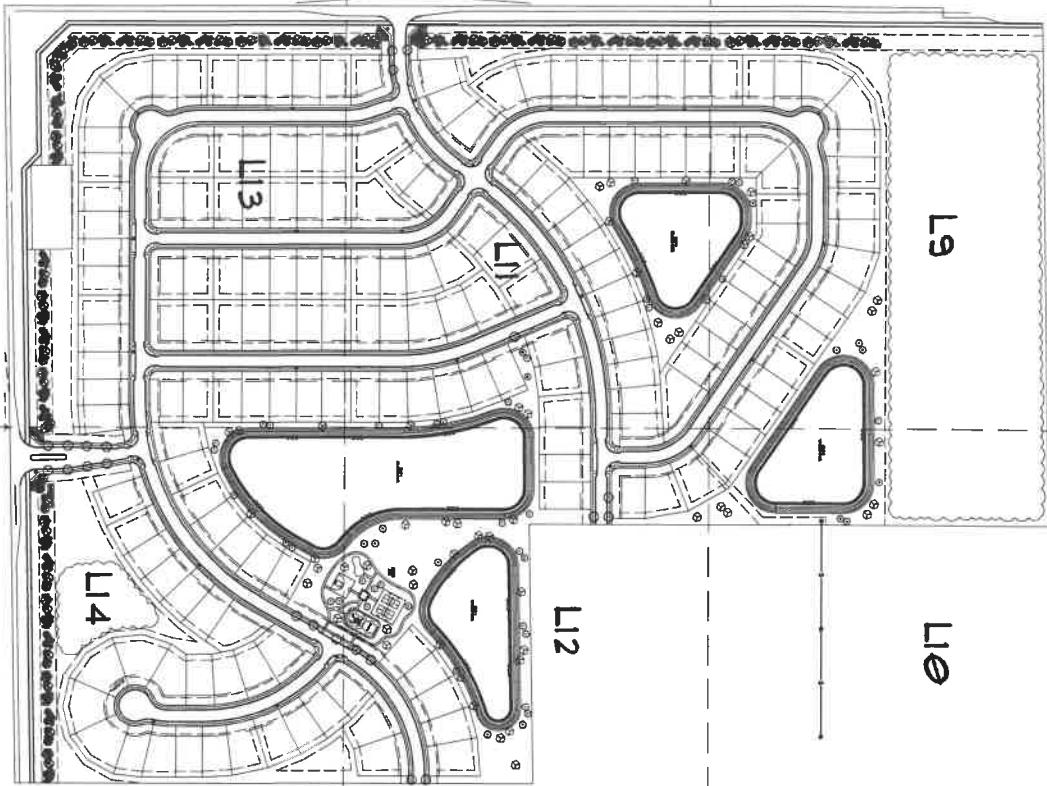


SPECIES	KEY	CORPORATE NAME	SCIENTIFIC NAME	SIZE	QUANTITY
SHADE TREES					
ST.	14	REDBUD	SEBIA NIGRA	16' CL.	14
CZ	14	BALD CYPRESS	TAXodium DISTICUM	21'-7"	18
H.	14	MONTGOMERY	ELAEODENDRON ZELEGIA	21'-2"	26
SMOOTHBARK		SMOOTHBARK	ELAEODENDRON ZELEGIA	21'-2"	26
OFFICER GUM	14	ACER SACCHARINUM	ACER SACCHARINUM	11'-1"	36
MAPLE		WILDFIRE GUM	ACER SACCHARINUM	11'-1"	36
KNOB	14	RED OAK	QUERCUS RUBRA	21'-7"	36
ORNAMENTAL TREES					
W.	14	WHITE SNAKE PLANT	SANSEVIERIA TRIFASCIALIS	2'-7"	21
SYNTH. WILLOW		WHITE SNAKE PLANT	SANSEVIERIA TRIFASCIALIS	1'-11"	11
SYNTH. BIRCH		WHITE SNAKE PLANT	SANSEVIERIA TRIFASCIALIS	1'-11"	11
SYNTH. BIRCH		ARALIA AUTUMN	ARALIA ELATA AUTUMN	1'-11"	14
SYNTH. BIRCH		DRILL AUTUMN	ARALIA ELATA AUTUMN	1'-11"	14
VIC.	14	WHITE KODIA MASTIFF	CHRYSALISIA KODIA	11'-0"	15
EVERGREEN TREES					
BUCK HALL SPICE	14	PINE GLACIAL	PIPSA GLACIAL	6'	10
WHITE SPICE		PINE GLACIAL	PIPSA GLACIAL	6'	10
SHRUBS					
CH	14	SPRINGFIELD	PROSTHOCYANODELIA SPRINGFIELD	24"	400
CHERRY		SPRINGFIELD	PROSTHOCYANODELIA SPRINGFIELD	24"	400
KODIA KOREAN	14	DEMPALA X KODIA	PROSTHOCYANODELIA KODIA	24"	221
KOREAN		DEMPALA X KODIA	PROSTHOCYANODELIA KODIA	24"	221
WHITE KODIA		WHITE KODIA	PROSTHOCYANODELIA KODIA	24"	221
LANTERNA VENETIAN	14	VENETIAN X KODIA	PROSTHOCYANODELIA KODIA	24"	221
VENETIAN		VENETIAN X KODIA	PROSTHOCYANODELIA KODIA	24"	221
ANNUAL PLANTING REQUIREMENTS					
INDIVIDUAL PLANTING REQUIREMENTS					
14	14	PERENNIAL	PERENNIAL	48"	400
14	14	ANNUAL	ANNUAL	48"	400
14	14	SHRUB	SHRUB	48"	400
14	14	TREE	TREE	48"	400
14	14	GRASS	GRASS	48"	400
14	14	PERENNIAL FOLIAGE	PERENNIAL FOLIAGE	48"	400
14	14	ANNUAL FOLIAGE	ANNUAL FOLIAGE	48"	400
14	14	SHRUB FOLIAGE	SHRUB FOLIAGE	48"	400
14	14	TREE FOLIAGE	TREE FOLIAGE	48"	400
14	14	GRASS FOLIAGE	GRASS FOLIAGE	48"	400
14	14	PERENNIAL FLOWERS	PERENNIAL FLOWERS	48"	400
14	14	ANNUAL FLOWERS	ANNUAL FLOWERS	48"	400
14	14	SHRUB FLOWERS	SHRUB FLOWERS	48"	400
14	14	TREE FLOWERS	TREE FLOWERS	48"	400
14	14	GRASS FLOWERS	GRASS FLOWERS	48"	400
TOTAL PLANTING REQUIREMENTS					
14	14	PERENNIAL	PERENNIAL	48"	400
14	14	ANNUAL	ANNUAL	48"	400
14	14	SHRUB	SHRUB	48"	400
14	14	TREE	TREE	48"	400
14	14	GRASS	GRASS	48"	400
14	14	PERENNIAL FOLIAGE	PERENNIAL FOLIAGE	48"	400
14	14	ANNUAL FOLIAGE	ANNUAL FOLIAGE	48"	400
14	14	SHRUB FOLIAGE	SHRUB FOLIAGE	48"	400
14	14	TREE FOLIAGE	TREE FOLIAGE	48"	400
14	14	GRASS FOLIAGE	GRASS FOLIAGE	48"	400
14	14	PERENNIAL FLOWERS	PERENNIAL FLOWERS	48"	400
14	14	ANNUAL FLOWERS	ANNUAL FLOWERS	48"	400
14	14	SHRUB FLOWERS	SHRUB FLOWERS	48"	400
14	14	TREE FLOWERS	TREE FLOWERS	48"	400
14	14	GRASS FLOWERS	GRASS FLOWERS	48"	400

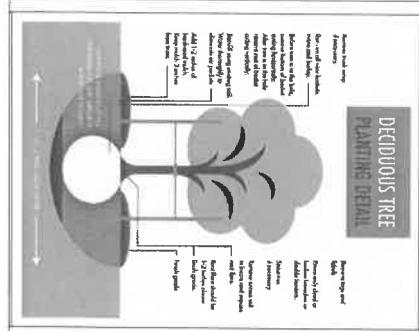


PLANT SCHEDULE					
STOCK #/ART.	CORPORATE NAME	SCALING NAME	SIZE	QUANTITY	
		SQUARE TREES			
BT	PISTACHIO	BUTLA NUGA	10'-12'	10	
CR	PAUL CYPRESS	THUJA OBLONGA	2'-12'	18	
EL	HORNbeam	ULMUS THINNICKNECK	2'-12'	10	
GD	OCTOPUS GOLDFISH	ACER PALMATUM	1'-12"	10	
HO	RED OAK	ULMUS GLABRA	1'-12"	20	
HS	WHITE OAK	ULMUS GLABRA STREPTOCARPA	1'-12"	22	
		ORNAMENTAL TREES			
IR	NORTHERN LARCH	SYCAMORE SYCAMORE	1'-12"	17	
KD	MORNINGGLORY KNOTVINE	HYDRANGEA HYDRANGEA	1'-12"	17	
LG	EVERGREEN ELEPHANT ERYNGIUM	HYDRANGEA X BOULDONII	1'-12"	14	
SC	WHITE PINK SPIDERWORT	GRANDEUR AUTUMN	1'-12"	10	
SH	BLACK MILK THYME	HYDRANGEA PESTO 'LUNA'	1'-12"	10	
		EVERGREEN TREES			
CH	SPRING BLOOM CHERRY	ARISTOIA ARISTOIA	3'-6"	406	
HO	KODIAK HORNSHORN	BONSAI X KODIAK	3'-6"	22	
I	ORLAND KOREAN LILAC	GRANDEUR AUTUMN	3'-6"	20	
Y	UNIVERSITY YEW HORN	VALLEYWOOD VINTAGE	3'-6"	302	
		SHRUBS			
CH	SPRING BLOOM CHERRY	ARISTOIA ARISTOIA	3'-6"	406	
HO	KODIAK HORNSHORN	BONSAI X KODIAK	3'-6"	22	
I	ORLAND KOREAN LILAC	GRANDEUR AUTUMN	3'-6"	20	
Y	UNIVERSITY YEW HORN	VALLEYWOOD VINTAGE	3'-6"	302	
		PLANT PLANS REQUIRED BY STATE			
		MISSOURI PLANT PLANS			
		ILLINOIS PLANT PLANS			
		INDIANA PLANT PLANS			
		OHIO PLANT PLANS			
		DETROIT PLANT PLANS			
		MI PLANT PLANS			
		ILLINOIS PLANT PLANS			
		INDIANA PLANT PLANS			
		OHIO PLANT PLANS			
		DETROIT PLANT PLANS			
		MI PLANT PLANS			

L1	DESIGNER THOMAS FELLEGY, PLA	SHEET NAME LANDSCAPE PLAN	PROJECT NAME BENDING BRANCH	LANDSCAPE ARCHITECTURE Landscape Architect Ward Associates, Inc. Ward Associates, Inc. is a registered professional landscape architecture firm located in Indianapolis, Indiana.
	DATE MAY 23, 2020	NOBLESVILLE, IN		

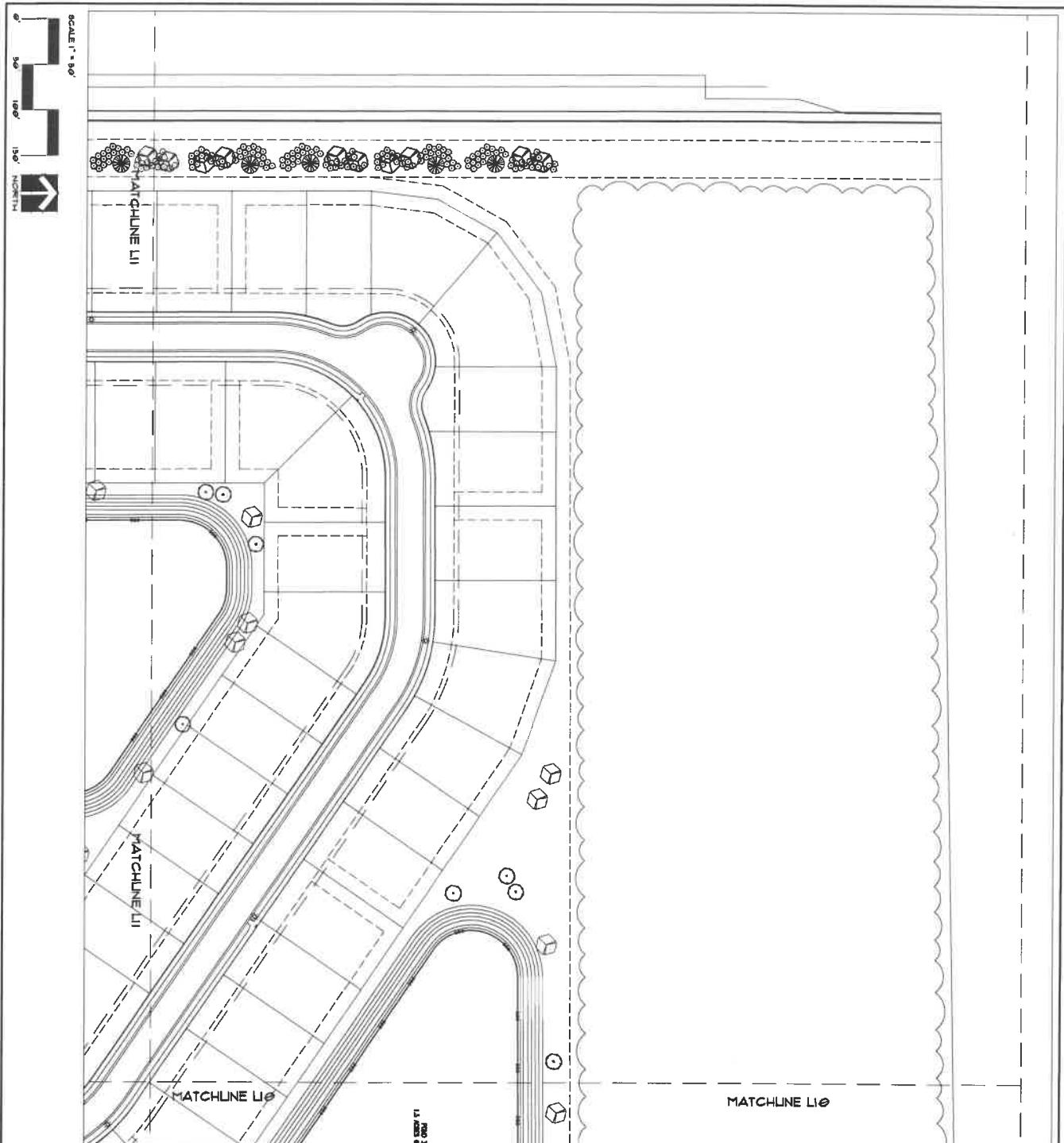


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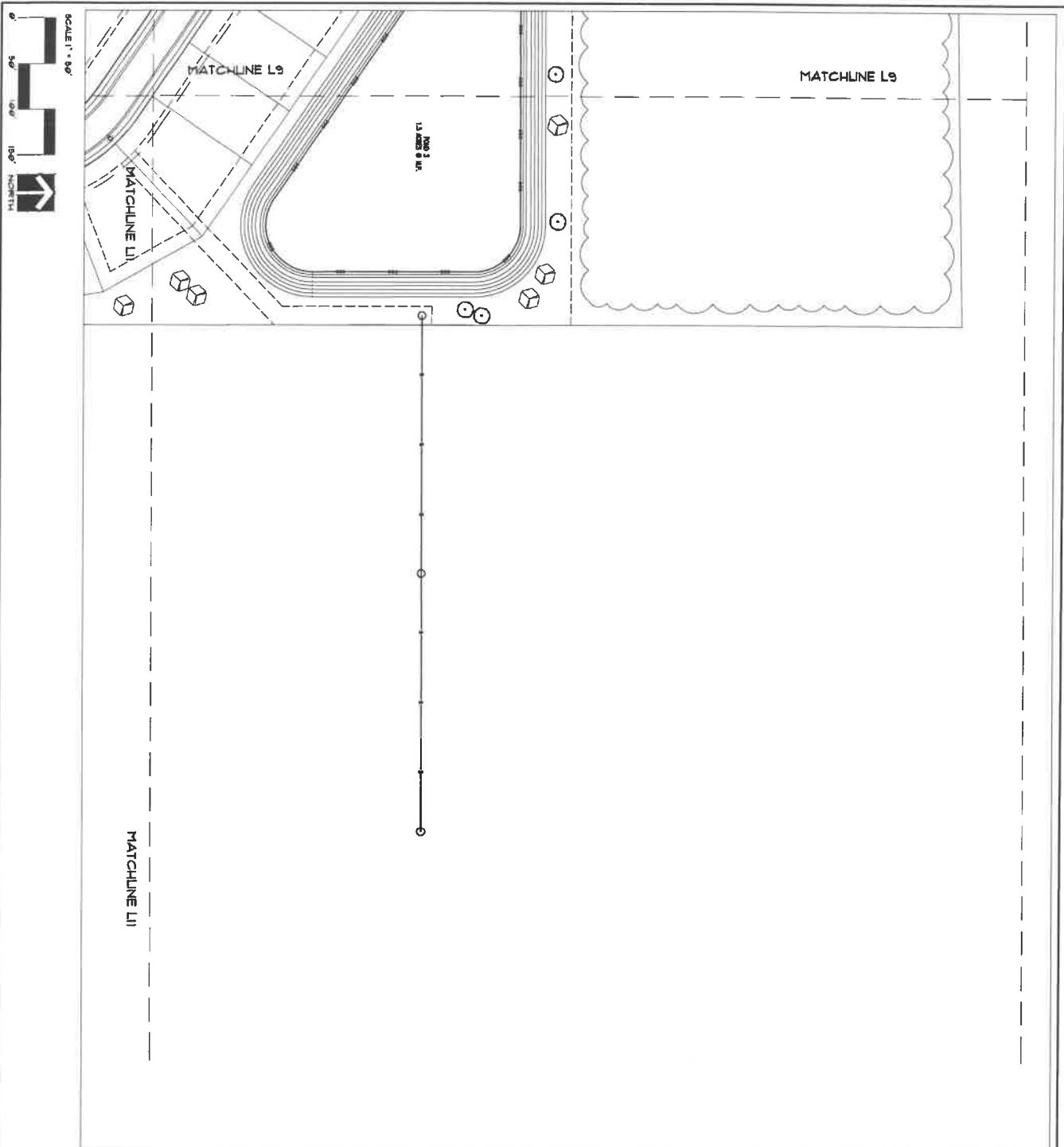
PLANT SCHEDULE - STREET TREES					
SYMBOL / KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	NOTES
○	BLAZER TREES - 1 PER lot WHERE APPLICABLE		2" dia.	6	#
○	PRM	MARSHALIA PRIMULA	ACER CARRIONIUM	2" dia.	6
○	BY	BYRON BELL BELL	ACER PLATEA	2" dia.	4
○	SPR	SPRING PRAIRIE SPURGE	ACER PLATEA VENET	2" dia.	4
○	DP	DAIRY DREAM DIPLOPOD	KRYNA SYLVATICA	2" dia.	2
○				6	

L8	DESIGNER THOMAS FELLEGY, PLA DATE: MAY 23, 2025	SHEET NAME STREET TREE PLAN	PROJECT NAME BENDING BRANCH NOBLESVILLE, IN	COAST TO COAST LANDSCAPING WITH A BEND IN THE ROAD DESIGNED FOR M I HOMES
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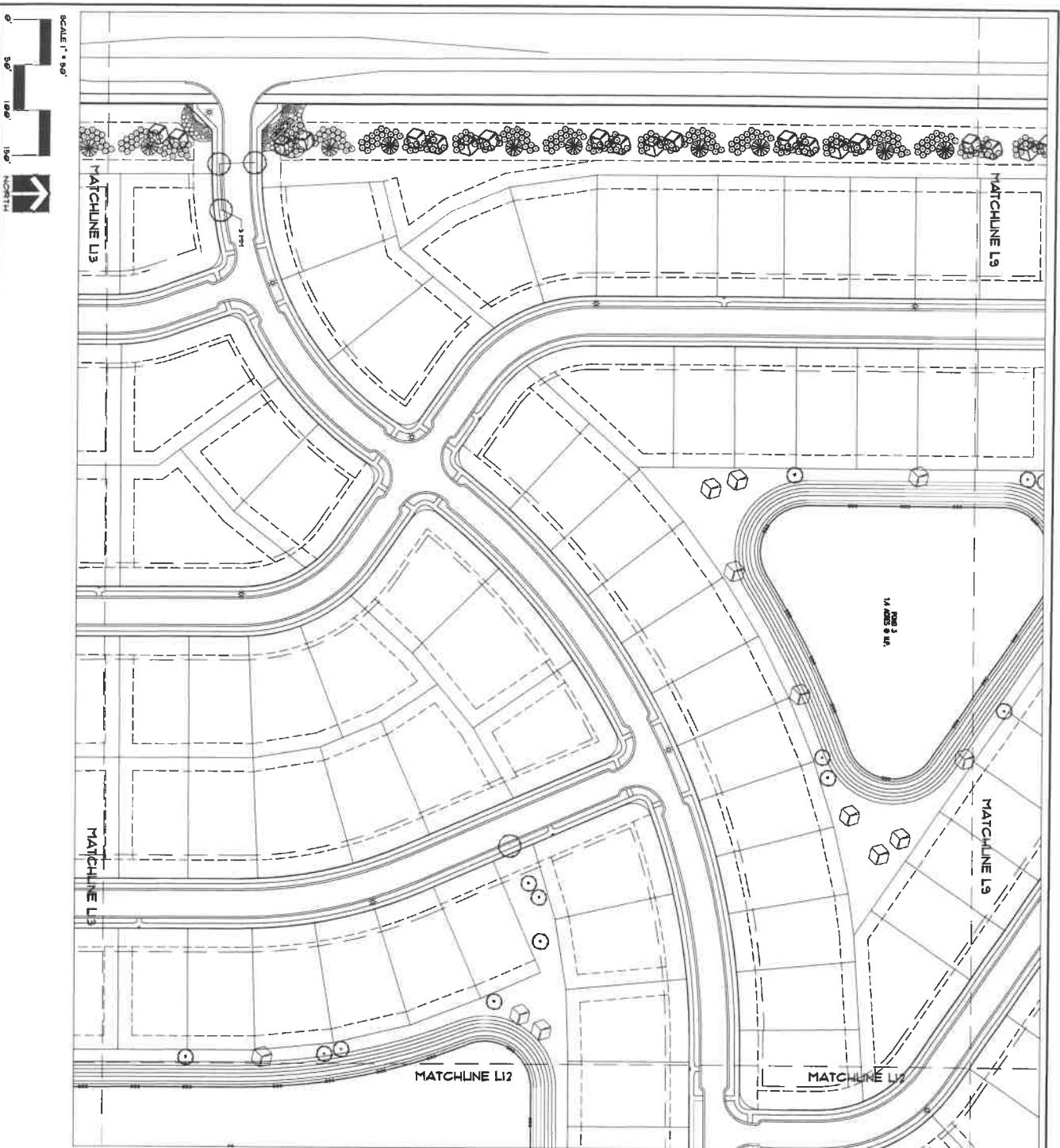
PLANT SCHEDULE - STREET TREES							
SYMBOL / KIT	CORPORAL NAME	KORONIC NAME	SIZE	QUANTITY	PLANTING DATE	WATERING	PRUNING
○	BLAUE RÄDER	-	14"	9	8/2019	Plants	Prune 1st year
○	PAPPRAUSEN	ACER GEMINUM	24"	4	8/2019	Plants	Prune 1st year
○	IVORY AKE MAC	SYCAMORE, SYCAMORE, SYCAMORE	14"	4	8/2019	Plants	Prune 1st year
○	GUM DROP TULPO	SYCAMORE, SYCAMORE, SYCAMORE	24"	3	8/2019	Plants	Prune 1st year

DESIGNER THOMAS FELLEGY, PLA	SHEET NAME STREET TREE PLAN	PROJECT NAME BENDING BRANCH	CREAT TO ORDER LANDSCAPE DESIGNING WITH YOU IN MIND WE DESIGN, CREATE AND MANAGE YOUR LANDSCAPE PROJECTS.
			LANDSCAPE ARCHITECTURE DESIGN & PLANNING CONSTRUCTION MANAGEMENT MAINTENANCE INSPECTION AUDITS INSURANCE MANAGEMENT
B-307	DATE: MAY 23, 2019	NOBLESVILLE, IN	M I HOMES LANDSCAPE ARCHITECTURE DESIGN & PLANNING CONSTRUCTION MANAGEMENT MAINTENANCE INSPECTION AUDITS INSURANCE MANAGEMENT



PLANT SCHEDULE - STREET TREES					
STOCK NO.	COMMON NAME	ACROSS NAME	SIZE	QUANTITY	NOTES
	SHADE TREE - PER 40' WHERE APPLICABLE				
PT	ROCKY MOUNTAIN MAPLE	ACER GLABRUM	2 1/2"	6	
PT	PAPERBARK MAPLE	ACER GRABERNII	2 1/2"	4	
PT	IVORY SILK MAG	SYCAMORE PECAN	7 1/2"	4	
PT	GOLD DUST MAPLE	ACER SPICATUM	2 1/2"	2	

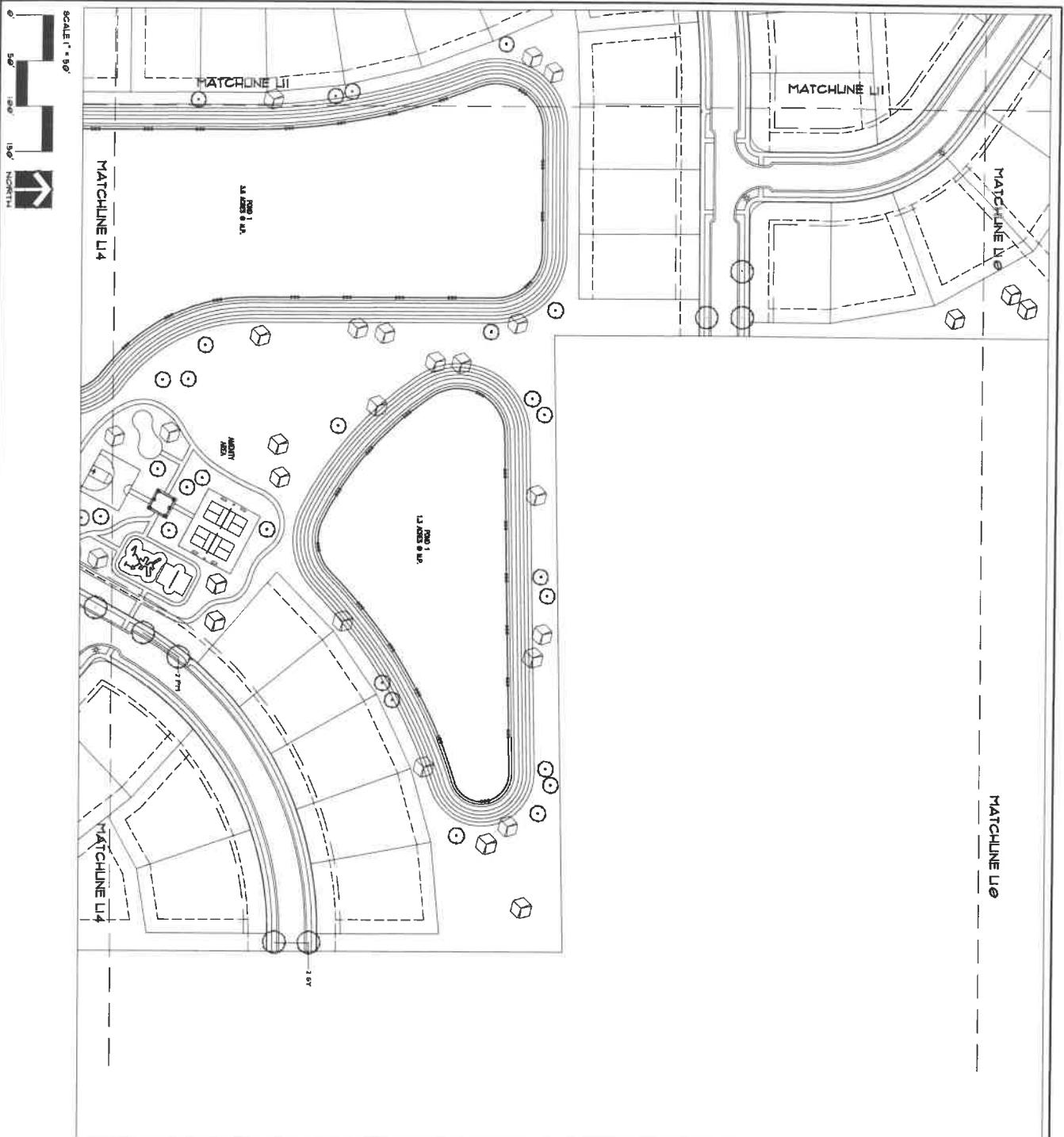
DESIGNER THOMAS FELLEGY, PLA	SHEET NAME STREET TREE PLAN	PROJECT NAME BENDING BRANCH
SHEET 10	DATE: MAY 23, 2025	NOBLESVILLE, IN
		M I HOMES



PLANT SCHEDULE - STREET TREES					
STOCK	SIZE	CORNER	COMMON NAME	SCIENTIFIC NAME	SIZE
○	3"		SQUARE TREES - 1" DIA. WHERE APPLICABLE		
○	3"		ROCKY MOUNTAIN MAPLE	ACER GEMINATUM	1" DIA.
○	3"		PURPLE LEAF PLUM	PRUNUS CERASIFERA VARIETY	2" DIA.
○	3"		WHITE MAPLE	ACER ALBIFOLIUM	2" DIA.
○	3"		SYCAMORE	PLATANUS SP.	4" DIA.
○	3"		WILLOW	Salix SP.	4" DIA.
○	3"		WEEPING SPRUCE	PICEA ABIES VARIETY 'PENNIPENDULA'	2" DIA.
○	3"		WHITE PINE	PINUS STROBIFERA	6" DIA.

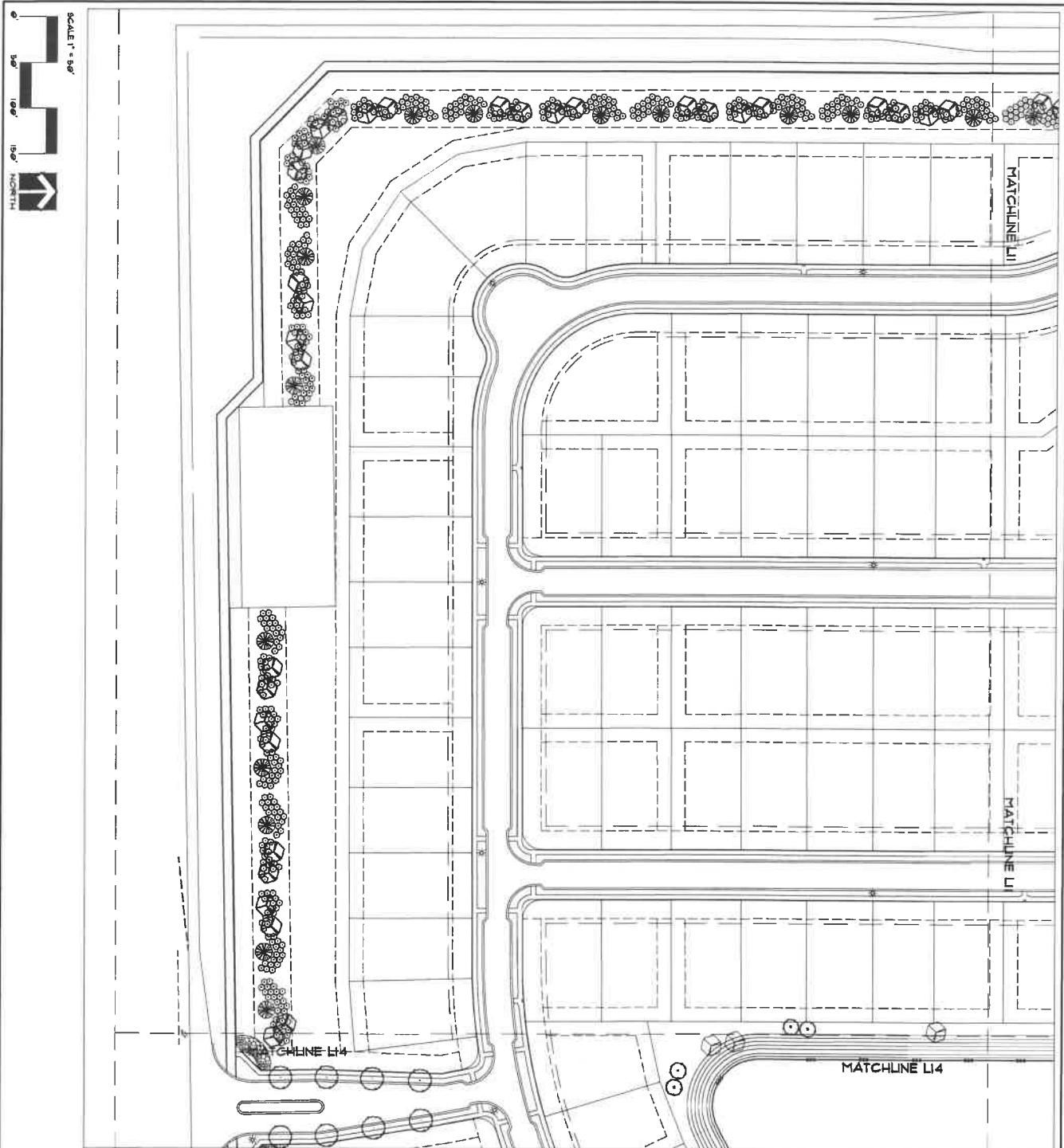
DESIGNER THOMAS PELLEY, PLA	SHEET NAME STREET TREE PLAN	PROJECT NAME BENDING BRANCH	LANDSCAPING SITES UNDERPLANTING SOFTSCAPE Hardscape Water Features Lighting Furniture Accessories Other
SHEET L11	DATE: MAY 25, 2025	NOBLESVILLE, IN	DESIGNED FOR M1 HOMES





PLANT SCHEDULE - STREET TREES						
STOCK NO.	CULTIVAR NAME	SCOTTING LAGE	SZ.	QUANT.	PLANTING DATE	NOTES
PI	BALD CEDAR	REF 90 WHERE APPLICABLE	2" DIA.	5	8/17	Planting
PI	ROCKWALL HAWTHORPE	ACER GEMMATICUM	2" DIA.	5	8/17	
PI	PURPLE LEAF SORBARIA	ACER GEMMATICUM	2" DIA.	4	8/17	
PI	HORNBECK LILAC	SYRINGA VULGARIS	2" DIA.	4	8/17	
PI	GARDEN DROPS TULPE	HYDRANGEA ARBORESCENS	2" DIA.	1	8/17	URBACTY

L12	DESIGNER THOMAS PELLEGRIN, PLA DATE: MAY 23, 2016	SHEET NAME STREET TREE PLAN	PROJECT NAME BENDING BRANCH NOBLESVILLE, IN	CONTRACTOR M I HOMES GENERAL CONTRACTOR SUBCONTRACTORS PERMITTING
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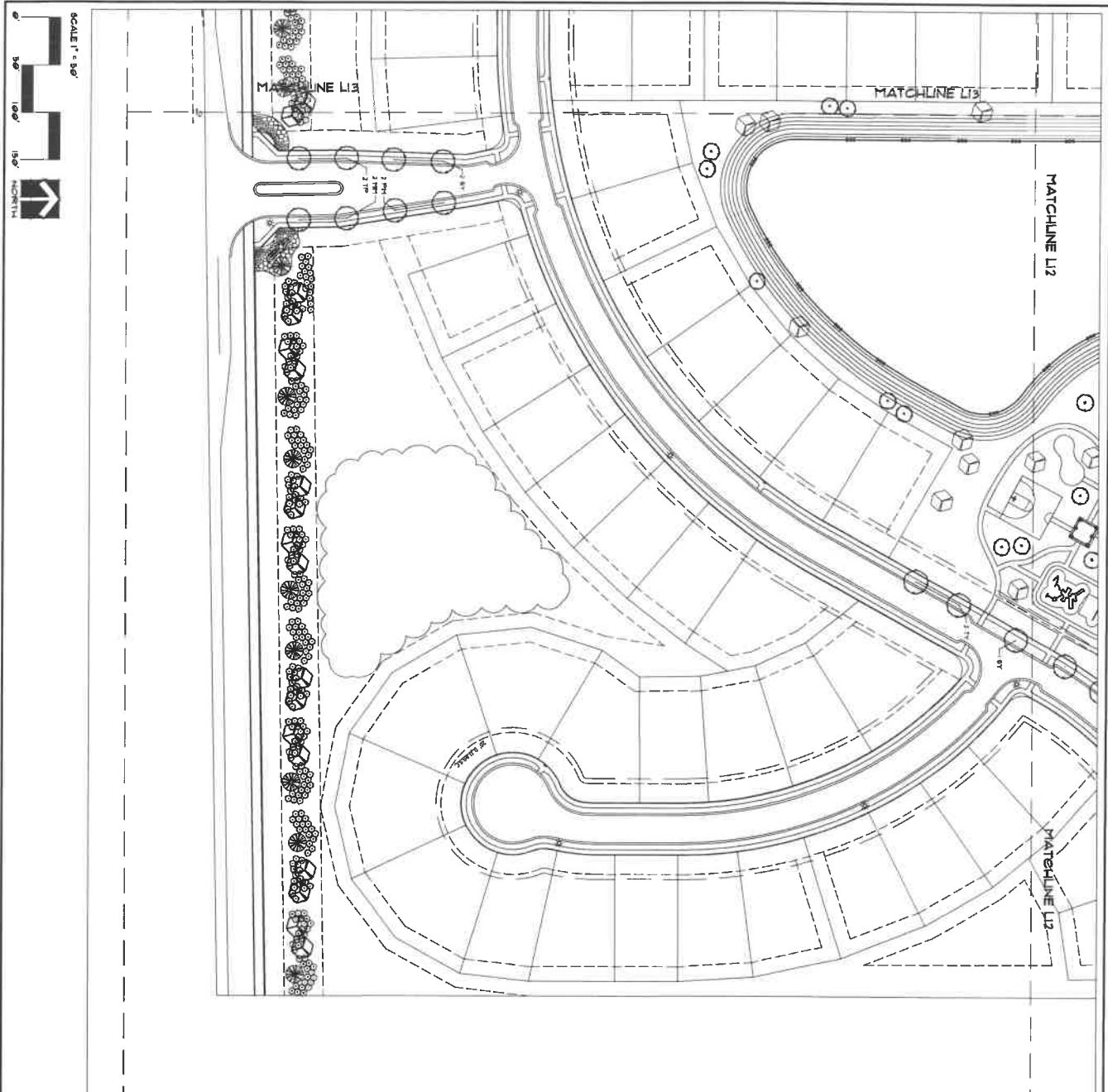


SYMBOL / REF.		DESCRIPTION	LOCATION	SIZE	QUANTITY	NOTES
SHADE TREES - 1 PER SIDE APPLICABLE						
(○)	PT	ROCKY MOUNTAIN CRABAPPLE	ACRE GARDEN/CLUSTER	2" DI	6	6"
(○)	PT	WINTERBERRY HONEYSUCKLE	ACRE GARDEN/CLUSTER	1" DI	4	6"
(○)	PT	HONEY BELL LAUREL	ACRE GARDEN/CLUSTER	2" DI	4	6"
(○)	PT	SYCAMORE PONTIACA VERN.	ACRE GARDEN/CLUSTER	2" DI	4	6"
(○)	PT	GUM DROOP VIBURNUM	ACRE GARDEN/CLUSTER	2" DI	6	6"

PLANT SCHEDULE - STREET TREES

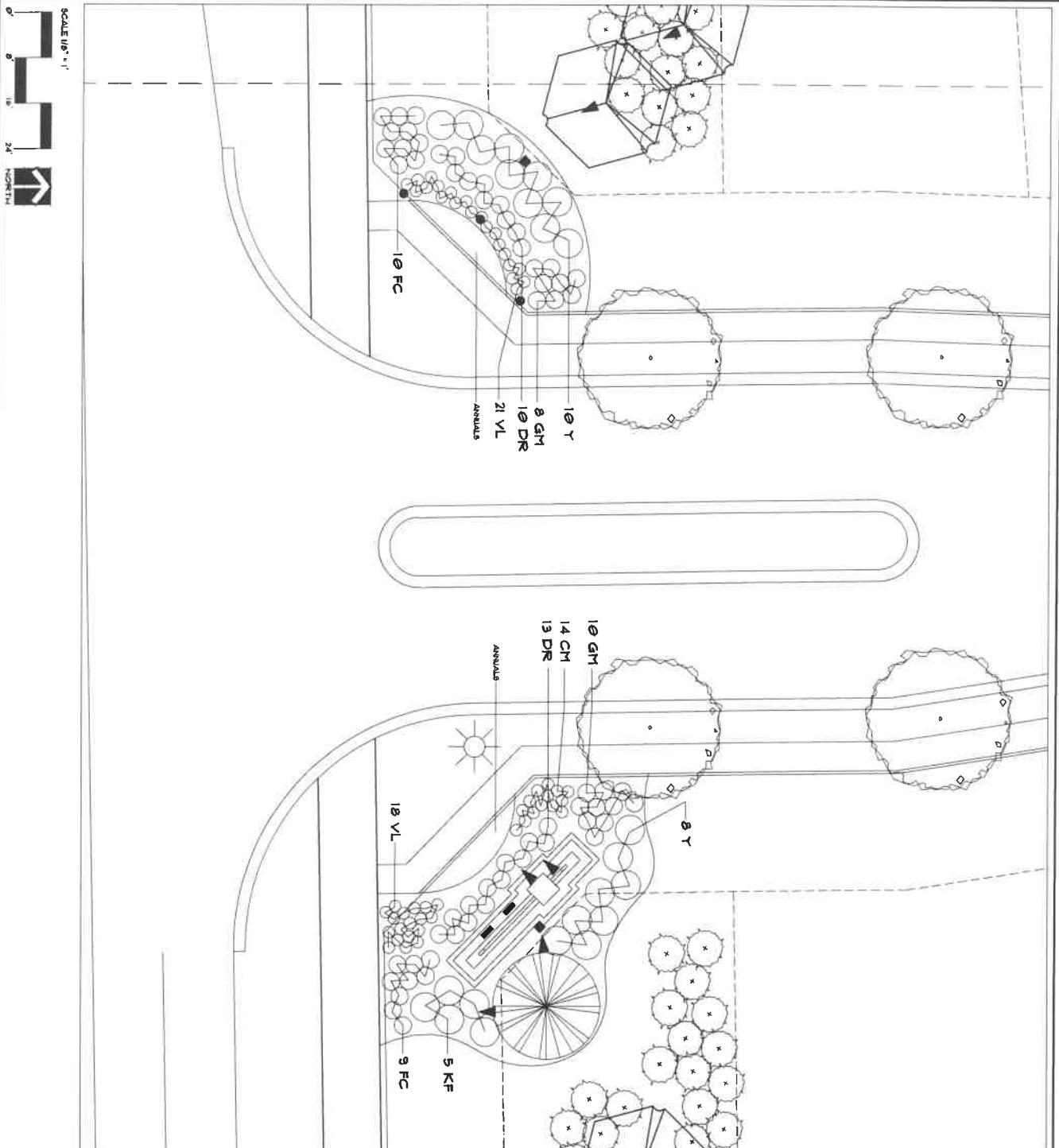
DESIGNER THOMAS FELLEGY, PLA	SHEET NAME STREET TREE PLAN	PROJECT NAME BENDING BRANCH NOBLESVILLE, IN	CONTRACTOR CRAVEN CONTRACTING UNDERSTANDING GENERAL CONTRACTOR, NO SUBCONTRACTORS SUBCONTRACTORS, IN RODGERS SUBCONTRACTORS, IN RODGERS SUBCONTRACTORS, IN RODGERS
SHEET DATE: MAY 25, 2025			M I HOMES GENERAL CONTRACTOR SUBCONTRACTORS, IN RODGERS SUBCONTRACTORS, IN RODGERS SUBCONTRACTORS, IN RODGERS

L13



PLANT SCHEDULE - STREET TREES					
SYMBOL / KEY	CORPORAL NAME	ESTIMATED VOLUME	SIZE	COUNT	NEW PLANTING PERIOD
SHADE TREE - 1 PER 100' WHERE APPLICABLE					
(○)	PISTACHIO CANTERBURY GREEN	ACRE GROWTH/DECREASE/FLAT	2-12"	0	Y
(○)	PINE	ACRE GROWTH	3-12"	4	N
(○)	PINE	ACRE GROWTH	3-12"	4	N
(○)	HONEY LOCUST	ACRE GROWTH	3-12"	4	N
(○)	SYRINGA PELLUCIDA 'WILLOW'	BUCK	3-12"	4	N
(○)	SYRINGA PELLUCIDA 'WILLOW'	BUCK	7-12"	2	N

DESIGNER THOMAS FELLEGY, PLA	SHEET NAME STREET TREE PLAN	PROJECT NAME BENDING BRANCH	COMMISSIONED BY LAWRENCE & SONS LANDSCAPE ARCHITECTURE WILMINGTON, NC www.lawrenceandsons.com
SHEET L14	DATE: MAY 23, 2013	NOBLESVILLE, IN	DESIGNED FOR M I HOMES FUTURE HOMEOWNERSHIP CORPORATION, INC. www.mihome.com

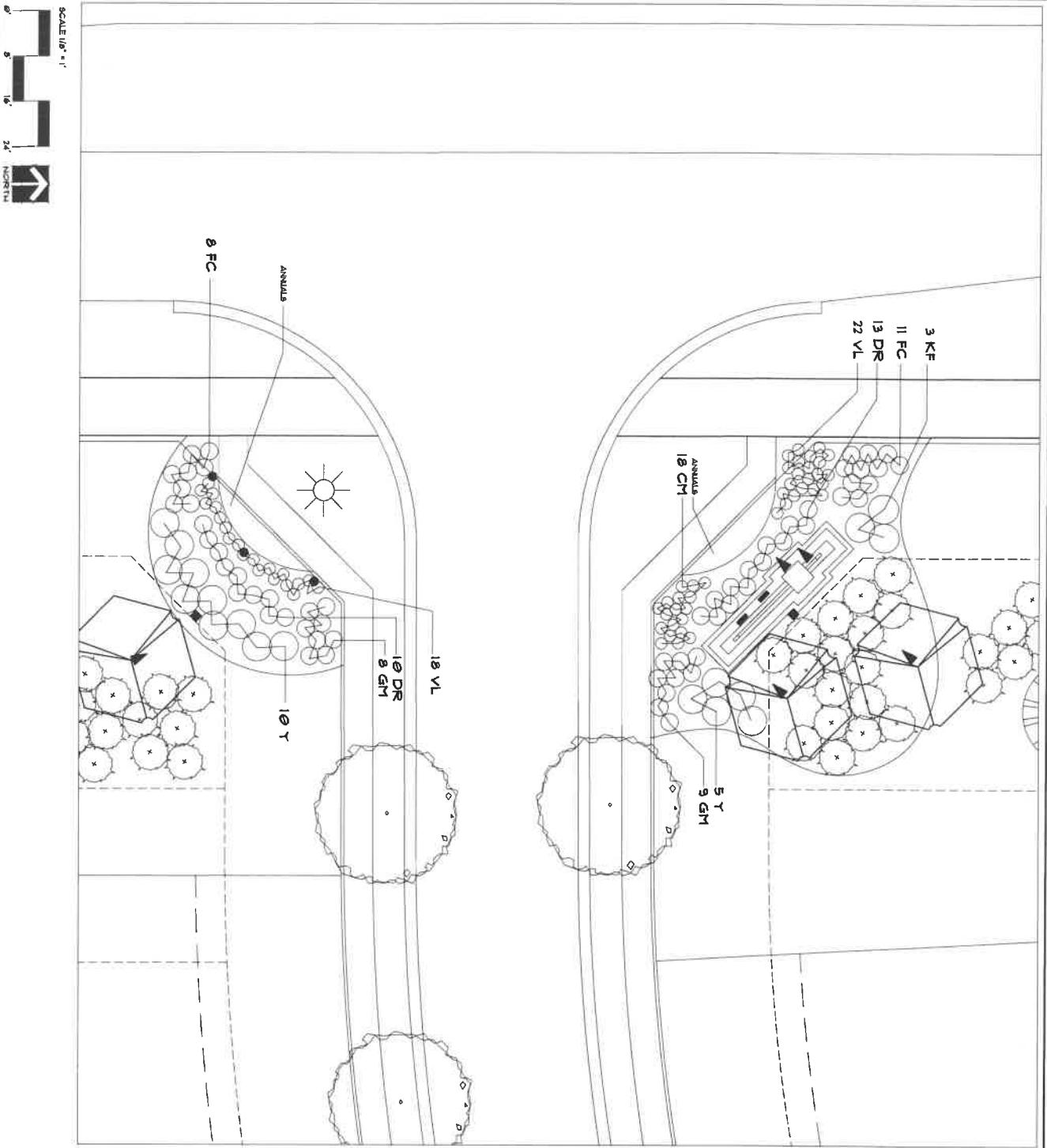


191ST ENTRY - PLANT SCHEDULE			
SYMBOL / KEY	CULTIVAR NAME	SCREED RATE	SIZE QUANT.
○	SURFING	10' x 1'	20
○	DR.	DRIFT ROSE RED	10' x 1'
○	PC.	PINEAPPLE ABSORBOLATE	10' x 1'
○	AN.	OLDE GREEN CYPRESS	10' x 1'
○	AN.	TROPIC GOLD	10' x 1'
○	AN.	KARAFURO GRASS	10' x 1'
○	AN.	MUGA TENG	10' x 1'
○	AN.	TEAK X TEAK HEDGE	10' x 1'
○	PERENNIALS	10' x 1'	10
○	RUMBLE STRIP	PERENNIALS IN PERENNIALS	10' x 1'
○	WALL SWAN	WALL SWAN	2
■	UP	UPRIGHT	6
■	▼	THREE-PARTNER	2
■	▼	PATH LIGHT	2

LANDSCAPING
191ST ENTRY PLANTING PLAN
10' x 1'
10' x 1'
10' x 1'

DESIGNED FOR
M I HOMES
10' x 1'
10' x 1'

DESIGNER THOMAS PELLEGY, PLA	SHEET NAME 191ST ENTRY PLANTING PLAN	PROJECT NAME BENDING BRANCH NOBLESVILLE, IN	115
			SHEET DATE: MAY 29, 2015



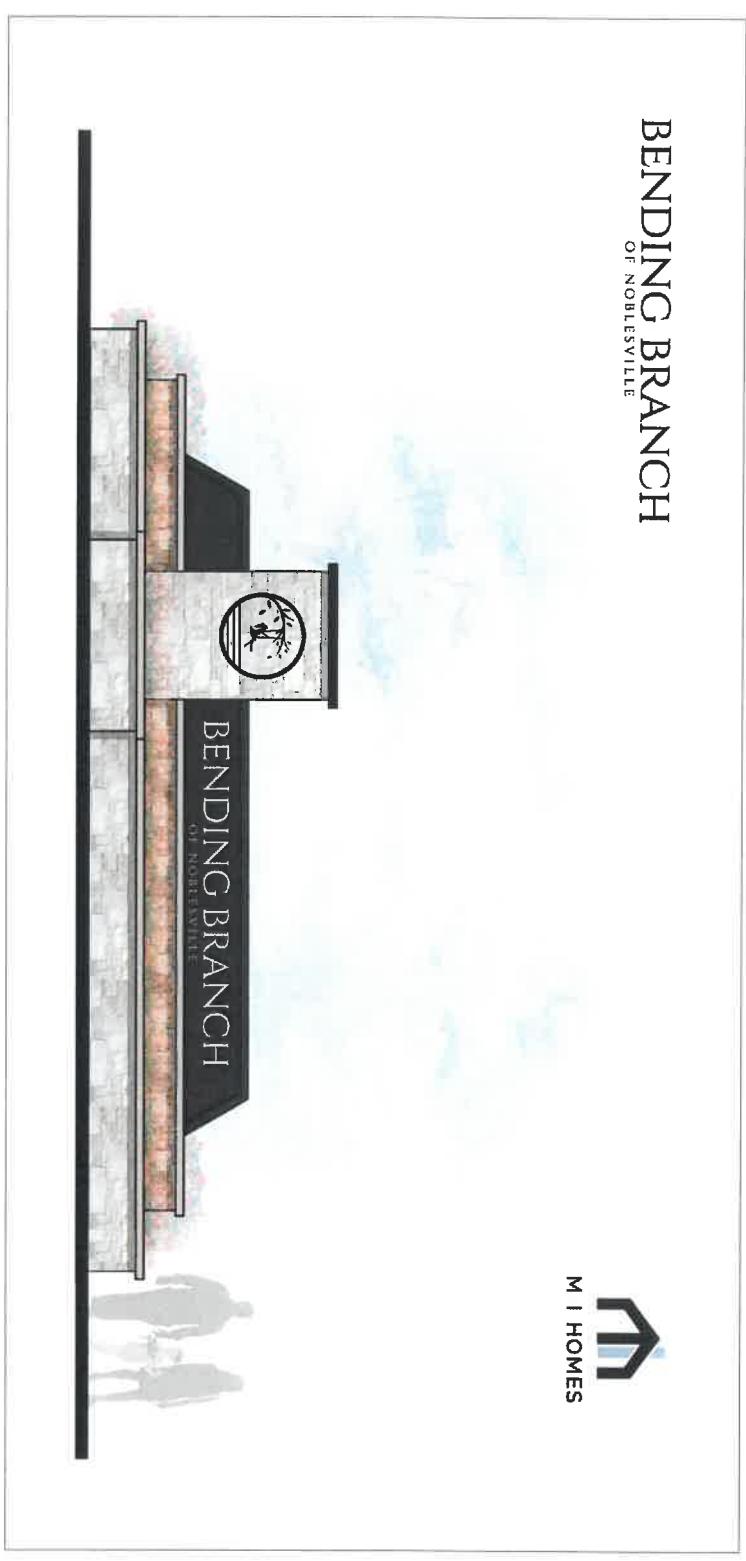
MOONTOWN ENTRY - PLANT SCHEDULE				
SYMBOL	KEY	CORPORATE NAME	SCIENTIFIC NAME	SIZE (QUART)
○	CH	SHRUBS (MULBERRY)	MULBERRY, COMMON	24" 12
○	DR	DRIVE PLANT BED	ROSE, 'WILDFIRE'	24" 12
○	FC	PERENNIAL ANNUAL	HELIANTHUS, 'SUNSET'	24" 18
○	GM	PERENNIAL ANNUAL	HELIANTHUS, 'SUNSET'	24" 18
○	KP	GRASS, KERSTEN GRASS	CHLORIS, 'KERSTEN'	24" 17
○	VL	PERENNIAL ANNUAL	AGASTACHE, 'BLACK & GOLD'	24" 5
○	Y	HERB, YARROW	ACHILLEA, 'YARROW'	24" 10
○	YR	PERENNIAL ANNUAL	AGASTACHE, 'YARROW'	24" 10
○	ZM	PERENNIAL ANNUAL	AGASTACHE, 'ZIMMERMAN'	24" 10
○	ZP	PERENNIAL ANNUAL	AGASTACHE, 'ZIMMERMAN'	24" 10
○	ZV	PERENNIAL ANNUAL	AGASTACHE, 'ZIMMERMAN'	24" 10

LIGHTING SCHEDULE				
SYMBOL	KEY	POSITION	QUANTITY	
—	WL	WALL MOUNT	2	
▲	UP	UPLIGHT	6	
■	TRANSFORMER	TRANSFORMER	2	
●	PL	PATHLIGHT	4	

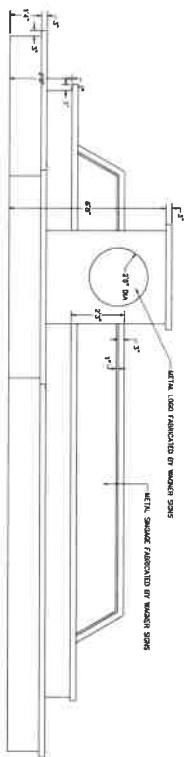
DESIGNER THOMAS FELLEGY, PLA	SHEET NAME MOONTOWN RD ENTRY PLANTING PLAN	PROJECT NAME BENDING BRANCH	Sheet No. 116
			DATE: MAY 23, 2020

BENDING BRANCH

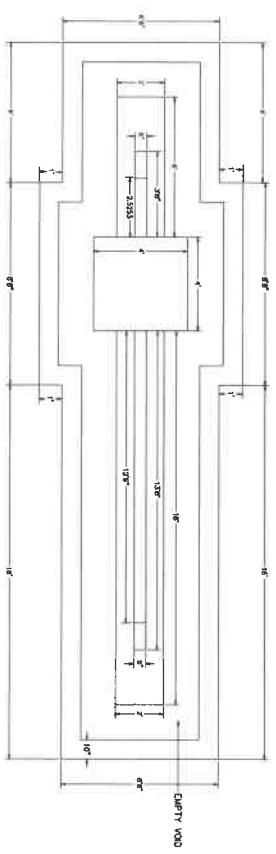
OF NOBLESVILLE



FRONT ELEVATION



PLAN VIEW VENEER



SCALE
1/8" = 1'

NORTH

DESIGNER
THOMAS PELLEGAT, PLA
DATE: MAY 23, 2020

SHEET NAME

ENTRY MONUMENT DETAILS

PROJECT NAME

BENDING BRANCH

NOBLESVILLE, IN

M/I HOMES
DESIGNED FOR
Open to Infinity
LANDSCAPING
Noblesville, Indiana
www.mihomes.com
www.infinitielandscaping.com
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EXHIBIT C
ARCHITECTURAL STANDARDS
(Page 1 of 2)

Architectural Standards – Bending Branch			
General / Miscellaneous	Floor Area/Dwelling Unit (Minimum)	One-Story	1,800 sf
		Two-Story	2,000 sf
	Building Height (Maximum)		35 feet
	Corner Breaks (Minimum)	Primary Architectural Plane	Ranch = 3 two-story = 4
		Secondary Architectural Plane	2
	Porch (does not apply to covered stoop/entryway, that is not a porch)	Required	Not required
		Area (Minimum)	Not applicable, 6' in depth when provided
	Materials	Primary Architectural Plane	15%
		Secondary Architectural Plane	Not applicable
		Fiber Cement Board	Permitted
		Masonry	Permitted
		Wood	Permitted
		Chimneys: Direct vent – non-masonry	Permitted
		Vinyl and Aluminum siding	Not permitted
		Soffits and Rake Boards Vinyl or aluminum	Permitted
Roof	Roof Pitch (Minimum)	Primary Ridge unless architecture style suggests less.	6/12
	*Roof Ridgelines (Minimum)	One-Story	3
		Two-Story	3
	Roof Overhang (Minimum)	All Architectural Planes – from framing	12 inches
	Allowable Vent Location (Roof)	Primary Architectural Plane	Yes
		Secondary Architectural Plane	Yes
Windows	Window Size (Minimum)	Standard Window	7 sf
		Accent Window (accent windows adding to 8 SF equals 1 window)	4 sf
	**Number of Windows (Minimum)	Primary Architectural Plane	Ranch = 3 2-story = 3
		Secondary Architectural Plane	Ranch = 2 2-story = 2
		Total Aggregate (doors count as windows)	Ranch = 10 2-story = 14
	Window Treatment Required	Primary Architectural Plane	Yes
		Secondary Architectural Plane	Yes
Garage	***Garage Location	Primary Architectural Plane	Permitted
		Primary Architectural Plane (Corner Lot)	Permitted

	Secondary Architectural Plane	Permitted
Garage Door Percentage, Primary Architectural	One-Story	50%
	Two-Story	50%
****Garage Windows Required		Yes

Applicable Footnotes:

- (1) Window Treatment includes shutters, wood trim wrap, or brick detail surround.
- (2) Ridge vent not included in restricted vent type on primary architectural plane.
- (3) The minimum overhang shall be measured from framing and shall be 8" in masonry areas.
- (4) A group of accent windows with an aggregate window size greater than 8 SF count as a window.
- (5) Corner break projections shall be a minimum of 2 feet in depth from the architectural plane which it is attached on both sides of the dwelling.
- (6) For 3-car garages the maximum percentage shall not include the 3rd car garage.

* Roof Ridge Line: A 2-story home shall require (i) 3 ridge lines and a 1st floor roof element with a minimum 2-foot projection or (ii) 4 ridge lines. Prairie style homes may have a lower roof pitch and fewer roof lines.

** Sliding glass doors and French doors including a window shall count as windows. Doors without a window shall not count.

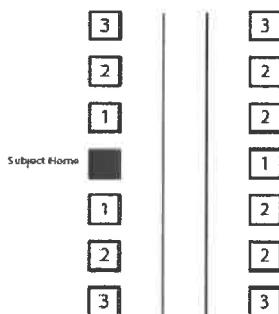
*** Garage Doors shall not face haze

**** Garage windows are required but do not otherwise count toward the required number of windows.

EXHIBIT C
ARCHITECTURAL STANDARDS
(Page 3 of 3)

- Façade Variety Standards:

- The following Façade Variety Standards shall apply to ensure variations in home elevations and in the overall streetscape for single-family dwellings:



- 1** Homes shall be a different floor plan or model than subject home. At the time of the issuance of the Certificate of Occupancy, homes shall have a different primary siding color and at least one of the other three Color Package elements shall be a different color than the subject home.
- 2** Homes may have the same or variation of the same floor plan or model as the subject home; however, the home's front elevation may not be identical and shall incorporate multiple variations to the front elevation (e.g., entryway treatment, window style and treatment, building materials and patterns/textures, roofline treatment, garage door treatment or orientation). At the time of the issuance of the Certificate of Occupancy, homes shall have a different primary siding color and at least one of the other three Color Package elements shall be a different color than the subject home.
- 3** Homes may have the same or variation of the same floor plan or model as the subject home; however, the home's front elevation may not be identical. Homes may have the same primary siding color as the subject home; however, at least one Color Package element shall be a different color.

EXHIBIT D
DWELLING CHARACTER EXHIBITS
(See the below and following page)





Ordinance #16-06-25
7 052825

EXHIBIT E

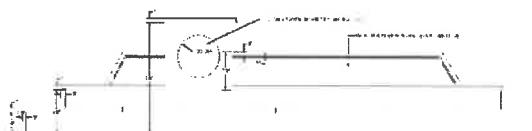
Entrance Signage Exhibit

(Page 1 of 1)

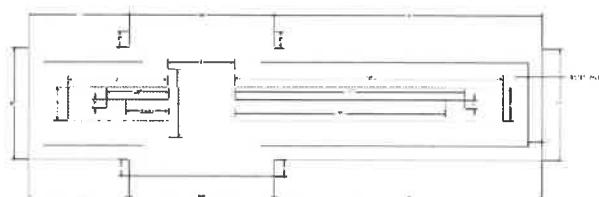
BENDING BRANCH
OF NOBLESVILLE



FRONT ELEVATION



PLAN VIEW VENEER



PLAN VIEW CAPS

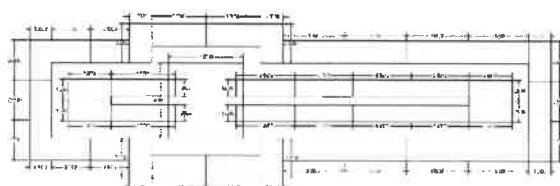


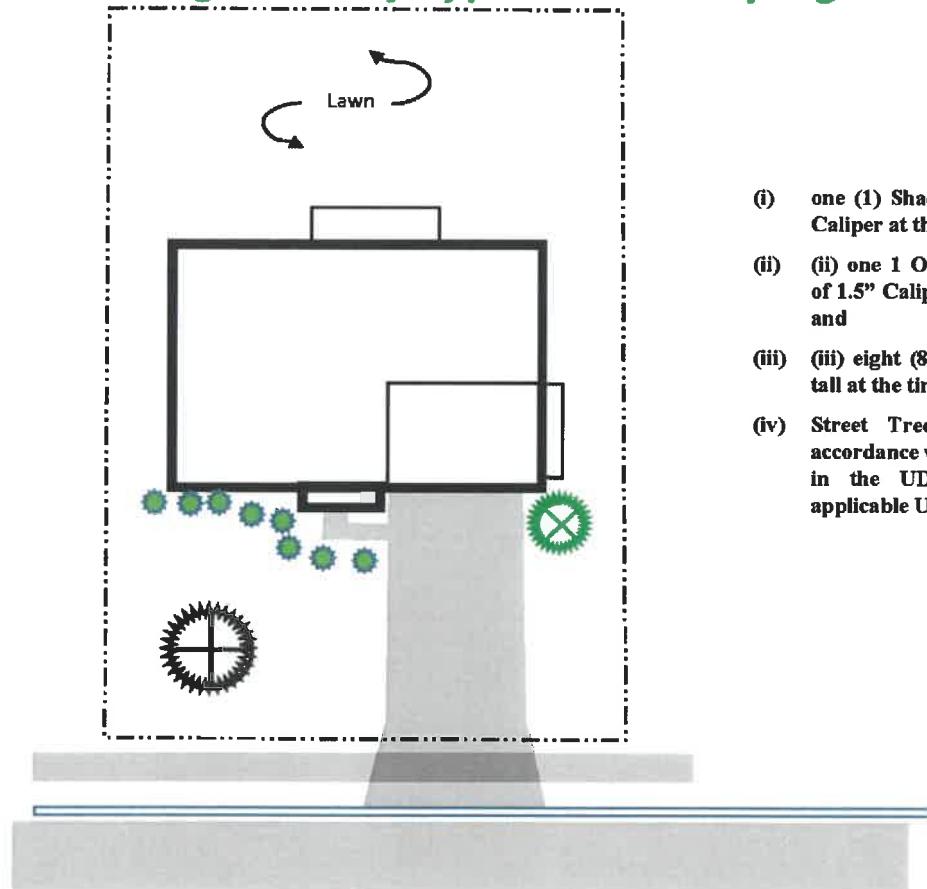
EXHIBIT F

Lot Landscaping Exhibit

(Page 1 of 2)

Bending Branch

Single Family Typical Landscaping



- (i) one (1) Shade Tree (minimum of 2.5" Caliper at the time of planting);
- (ii) (ii) one 1 Ornamental Tree (minimum of 1.5" Caliper at the time of planting); and
- (iii) (iii) eight (8) shrubs (minimum of 24" tall at the time of planting).
- (iv) Street Trees shall be required in accordance with the standards set forth in the UDO with respect to the applicable Underlying District.0

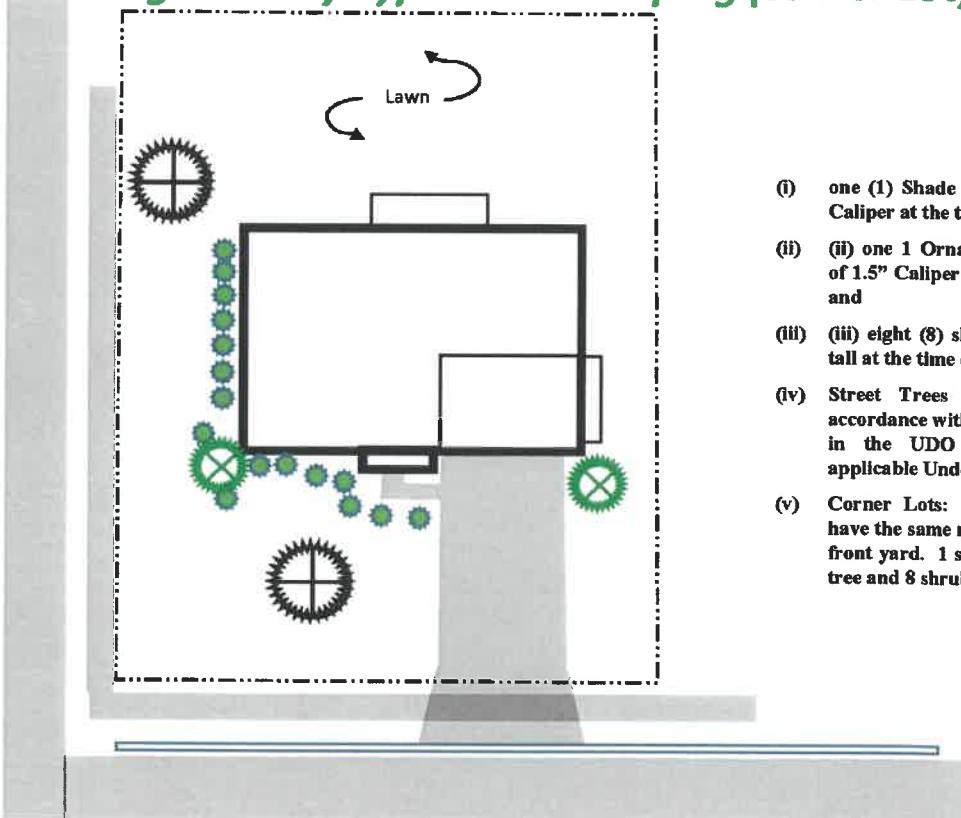
EXHIBIT F

Lot Landscaping Exhibit

(Page 2 of 2)

Bending Branch

Single Family Typical Landscaping (corner Lot)



- (i) one (1) Shade Tree (minimum of 2.5" Caliper at the time of planting);
- (ii) (ii) one 1 Ornamental Tree (minimum of 1.5" Caliper at the time of planting); and
- (iii) (iii) eight (8) shrubs (minimum of 24" tall at the time of planting).
- (iv) Street Trees shall be required in accordance with the standards set forth in the UDO with respect to the applicable Underlying District.
- (v) Corner Lots: Street Side Yard must have the same number of plantings as a front yard. 1 shade tree, 1 ornamental tree and 8 shrubs

EXHIBIT G

Waivers

The below is a list of Waivers (intended to summarize the text of the PD Ordinance) from the underlying UDO standards.

- A. Modification of Minimum lot width, lot frontage, side and rear setbacks, and lot coverage bulk requirements (see Section 5).
- B. Lot landscaping per **Exhibit F**.
- C. Reduction in the Buffer Yards and Peripheral Yards.
- D. Amended sign standards to permit sign of the design (area and height) consistent with **Exhibit E**.
- E. Reduction of the minimum cul-de-sac radius and street centerline radius (see Section 11).