



Common Council

Agenda Item

Cover Sheet

MEETING DATE: June 10, 2025

- ☐ Previously Discussed Ordinance
- ☐ Proposed Development Presentation
- ☒ New Ordinance for Discussion
- ☐ Miscellaneous
- ☐ Transfer

ITEM or ORDINANCE: #16-06-25

PRESENTED BY: Amy Steffens, Attorney Jim Shinaver

- ☒ Information Attached
- ☐ Verbal
- ☐ No Paperwork at Time of Packets

ORDINANCE NO. 16-06-25

**AN ORDINANCE TO AMEND THE UNIFIED DEVELOPMENT ORDINANCE,
A PART OF THE COMPREHENSIVE PLAN OF THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

Document Cross Reference Nos. 200300070352

This Ordinance (the “Bending Branch PD Ordinance” or “PD Ordinance”) amends the Unified Development Ordinance for the City of Noblesville, Hamilton County, Indiana (the “UDO”), enacted by the City of Noblesville (the “City”) under authority of Indiana Code § 36-7-4-600, et seq., as amended.

WHEREAS, the Plan Commission of the City of Noblesville (the “Plan Commission”) conducted a public hearing on docket number LEGP 0010-2025 at its May 19, 2025 meeting, as required by law, in regard to the application (the “Petition”) filed by MI Homes of Indiana, an Indiana limited partnership (the “Developer”) concerning a change of zoning of certain property described in Exhibit A attached hereto (the “Real Estate” which is also referred to herein as the “District”) and the adoption of a preliminary development plan to be known, collectively with attached Exhibits, as the “Bending Branch Preliminary Development Plan”, as further described in Section 4 below (the “Preliminary Development Plan”); and,

WHEREAS, the Plan Commission has sent a Favorable Recommendation for adoption of said amendment with a vote of nine (9) AYES and one (1) NAYS to the Common Council of the City of Noblesville Hamilton County, Indiana (the “Common Council”);

NOW, THEREFORE, BE IT ORDAINED by the Common Council, meeting in regular session, that it hereby adopts this Bending Branch PD Ordinance as an amendment to the UDO and the Official City of Noblesville Zoning Map (the “Zoning Map”) to establish this Planned Development Overlay District (the "District") to read as follows:

Section 1. Applicability of Ordinance.

- A. The Zoning Map is hereby amended to change the zoning of the Real Estate from “R3” Residential to “R3/PD” Residential Planned Development, which is to be known as the Bending Branch Planned Development (the "District").
- B. The District's underlying zoning district shall be R3 Residential (the "Underlying District"). Development in this District shall be governed entirely by (i) the

provisions of this Bending Branch PD Ordinance and its exhibits, and (ii) those provisions of the UDO in effect as of the date of adoption of this Ordinance, and applicable to the Underlying District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance. Cross-references to “Article”, “Part”, “Section” and “Subsection” in this Ordinance shall refer to the corresponding Article, Part, Section and Subsection as specified and referenced in the UDO.

- C. All provisions and representations of the UDO that conflict with the provisions of this Bending Branch PD Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Bending Branch PD Ordinance.

Section 2. **Definitions.** The general rules of construction set forth in Article 2 of the UDO and the definitions set forth in this Ordinance shall apply to the regulations of this Ordinance. Words not defined herein but defined in the UDO shall be interpreted in accordance with the UDO definition.

Section 3. **Permitted Uses.**

- A. All uses permitted in the Underlying District shall be permitted within the District; however, the maximum number of Dwelling Units shall not exceed one hundred and eighty-four (184).
- B. Accessory Uses and Accessory Structures customarily incidental to any permitted use shall be permitted.

Section 4. **Preliminary Development Plan.**

- A. Full sized, scaled development plans are on file with the City’s Planning and Development Department with a revision date of April 24, 2025. What is attached hereto as **Exhibit B** is a general representation of the full-sized plans and **Exhibit B**, together with the full-sized plans, shall be collectively referred to as the “Preliminary Development Plan”.
- B. The Preliminary Development Plan is hereby incorporated herein and approved. Pursuant to Article 8 of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations/waivers from the Underlying District and layout of the District.

Section 5. **Bulk Standards.** The bulk requirements applicable to the Underlying District shall be replaced, modified and superseded by the below:

- A. The Minimum Lot Area: Eight thousand, four hundred and fifty (8,450) Square Feet

- B. Minimum Lot Width measured at the front building setback line:
Sixty-five (65) feet
- C. Minimum Lot Frontage at right-of-way: Forty (40) feet
- D. Maximum Building Height: Thirty-five (35) feet
- E. Minimum Front Yard Setback: Twenty-five (25) feet
- F. Minimum Side yard Setback: Five (5) feet
- G. Minimum Rear yard Setback: Fifteen (15) feet
- H. Minimum Floor Area: Fifteen Hundred (1,500) Square Feet
- I. Maximum Lot Coverage: Fifty-five (55) percent

Section 6. **Architectural Standards.** The requirements included in Article 8, shall not apply, instead the following shall apply to the District:

- A. The approved elevations shall be the set of elevations on file with the City's Planning and Development Department as submitted on January 15, 2025, as reviewed and approved by the City's Architectural Review Board / PUD/Plat Committee (the "Committee"), a its April 16, 2025 meeting (the "Approved Elevations").
- B. The Approved Elevations are hereby incorporated and approved. All home elevations shall be substantially consistent with the Approved Elevations. The Director of Planning and Development, including his or her designees, shall review and approve elevations at the time of filing of the Detailed Development Plan and/or Building Permit for compliance and consistency with the Approved Elevations.
- C. The elevations of any dwelling that substantially varies from an Approved Elevations shall be submitted for review and approval by the Director of Planning and Development if in compliance with the Architectural Standards hereby incorporated under **Exhibit C** or require approval by the Committee, if not found in compliance with the standards included in **Exhibit C**. The Committee's review of said elevation(s) shall be performed in order to determine its compatibility and consistency with the intended quality and character of the District and the Approved Elevations.
- D. Elevations (Dwelling Character Exhibits) are included under **Exhibit D** which are representative of the Approved Elevations.
- E. Corner Breaks shall be a minimum of 2' by 6' creating an additional roof line. A corner lot street side is required to have the same number of corner breaks as the

front elevations of the home (Primary Architectural Plane). An additional corner break is required on homes that back to 191st Street and Moontown Road (lots within one hundred (100) feet of the subject road right-of-way). Subject lots are identified on the Preliminary Development Plan, **Exhibit B**.

Section 7. **Landscaping and Open Space Standards.** The standards of Article 12, Landscaping and Screening, of the UDO shall apply, except as modified below:

- A. **Lot Landscaping.** All Lots shall be landscaped with building base and yard plantings as required below:
 - 1. Front, side and rear yards shall be landscaped as illustrated in **Exhibit E**.
 - 2. All Dwellings shall have sod installed in the front yard.
 - 3. Shrubs shall be a minimum of 24”.
- B. **Street Trees.** Street Trees shall be installed per the planting standards of the UDO.
 - 1. Street Trees in front of lots shall be installed by the builder of the home on the subject lot at the time of home construction.
 - 2. Street Trees along common area frontages shall be installed by the Developer at the time to installation of Buffer Yard plantings.
- C. **Landscape Buffer Yards.** The establishment of a Peripheral Yard, as set forth in Article 8, Part H, Section 3.F.2 of the UDO shall not be applied to the Real Estate. Instead, landscape buffer yards shall be provided as illustrated on the Preliminary Development Plan subject to the following:
 - 1. **East Peripheral Yard (east perimeter of the Real Estate including the north segment between the two east segments):** A minimum fifteen (15) foot common area including the preservation of existing trees as selected by the Developer. The continuation of a residential subdivision is anticipated east of the subject Real Estate as illustrated on the Preliminary Development Plan.
 - 2. **North Peripheral Yard:** A minimum three-hundred fifty (350) foot common area including the preservation of existing trees as selected by the Developer.
 - 3. **191st Peripheral Yard:**
 - a. The 191st Street Peripheral Yard shall be a minimum of fifty (50) feet of common area and a minimum of twenty-five (25) foot buffer planting area.

- b. Three (3) trees, at least two (2) of which shall be shade trees, and thirty-three (33) shrubs, shall be provided per one-hundred (100) linear feet of road frontage west of the subdivision entrance and within one-hundred and fifty feet east of the subdivision entrance.
 - c. East of the subdivision entrance between a distance of one-hundred and fifty feet and the east perimeter of the Real Estate the preservation of existing trees as shown on the Preliminary Development Plan shall be required.
 - d. No buffer yard shall be required where the real estate is adjacent to the parcel recorded as Hamilton County Instrument Number 201915838.
4. Moontown Road Peripheral Yard: The west Peripheral Yard shall be a minimum of seventy-five (75) feet of common area and a minimum of twenty-five (25) foot buffer planting area. Three trees, at least two (2) of which shall be shade trees, and thirty-three (33) shrubs, shall be provided per one-hundred (100) linear feet of road frontage. The preservation of trees in the North Peripheral Yard shall supersede this Moontown Road Peripheral Road standard.
5. Shrubs: Shrubs shall be a minimum of 24”.

- D. Open Space. Open Space shall be a provided substantially in the size, configuration and locations depicted on Sheet C1.40 of the Preliminary Development Plan. As shown all Common Areas are 40.284 acres and the total pond area is 7.8 acres resulting in approximately 32.5 acres of open space which is approximately thirty-two (32) percent of the Real Estate where twenty-eight (28) percent is required.
- E. Tree Preservation. The requirements of Article 12, Section 13.B (Tree Preservation) of the UDO shall be applicable to the Real Estate in areas specified as Tree Preservation Easements on the Final Development Plan and notice of the regulation of such standards shall be included in the Declaration of Covenants and Restriction that will be applicable to the Real Estate.

Section 8. Parking and Loading Standards. The standards of Article 10, Off-Street Parking and Loading, of the UDO shall apply except as noted below:

- A. The minimum distance between the street right-of-way and the driveway for lots which front more than one public street shall be twenty-five (25) feet and driveways may be placed within five (5) feet from the side lot lines.

Section 9. Lighting Standards. The standards of Article 13, Environmental Performance Standards, of the UDO, shall apply, except as modified below:

- A. Photocell controlled light fixtures shall be required on either side of garage doors.

Section 10. **Sign Standards.** The District's signs shall comply with Article 11 of the UDO, except as modified below:

- A. A sign of the design (including area and height) consistent with the sign depicted in **Exhibit E** shall be permitted.

Section 11. **Site Design and Infrastructure Standards.** Unless otherwise stated within this Bending Branch PD Ordinance, all public infrastructure within the District shall adhere to the City's standards and design criteria, subject to the following specific waivers that are hereby approved:

- A. The minimum right-of-way radius for a cul-de-sac shall be fifty-one (51) feet.
- B. Corner lots shall be permitted at the minimum Lot size applicable to the Real Estate but accommodate the required twenty-five foot front setback on both street frontages.
- C. The Centerline Radii for Residential Minor Collectors shall be 150 feet.

Section 12. **Procedures:**

- A. **Detailed Development Plan:** Approval of any Detailed Development Plan ("DDP") shall follow the procedures set out in Article 8 of the UDO, subject to the following clarification:
 - 1. The Director of Planning and Zoning shall approve a Minor Change; and
 - 2. If a DDP includes a Major Change from the approved Preliminary Development Plan, then, prior to approval of the DDP, The Major Change shall be reviewed and approved by the Technical Advisory Committee and the Plan Commission based upon compliance with the Governing Standards set forth herein and shall be compatible and consistent with the intended quality and character of the District.
- B. **Secondary Plat:** A Secondary Plat shall be submitted for review and approval as part of any approved DDP.
- C. **Major Change.** For purposes of this PD Ordinance, a "Major Change" shall mean: (i) a substantial change to the location of a perimeter entrance as shown on the Preliminary Development Plan; and (ii) significant changes to the drainage management systems, including, but not limited to, BMP's and legal drains.
- D. **Minor Change.** For purposes of this PD Ordinance, a "Minor Change" shall mean any change that: (i) is not a Major Change; and (ii) is consistent with the

intent of this Ordinance and consistent with the quality and character represented in this Bending Branch Ordinance for the District.

Section 13. **Effective Date.** This Bending Branch PD Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law.

[The remainder of this page intentionally left blank; signature page follows.]

Approved on this _____ day of _____, 2025 by the Common Council of the City of Noblesville, Indiana:

AYE		NAY	ABSTAIN
	Mark Boice		
	Michael J. Davis		
	Evan Elliott		
	David M. Johnson		
	Darren Peterson		
	Pete Schwartz		
	Aaron Smith		
	Todd Thurston		
	Megan G. Wiles		

ATTEST: _____
Evelyn L. Lees, City Clerk

Presented by me to the Mayor of the City of Noblesville, Indiana, this _____ day of _____, 2025 at _____M.

Evelyn L. Lees, City Clerk

MAYOR'S APPROVAL

Chris Jensen, Mayor

Date

MAYOR'S VETO

Chris Jensen, Mayor

Date

ATTEST: _____
Evelyn L. Lees, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Jon C. Dobosiewicz

Prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 550 Congressional Blvd, Suite 210, Carmel, IN 46032 (317) 844-0106.

Bending Branch PD - PD Ordinance 7 052825

EXHIBIT A

Legal Description

(Page 1 of 1)

AS-SURVEYED LAND DESCRIPTION

A PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 19 NORTH, RANGE 4 EAST, HAMILTON COUNTY, INDIANA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF SECTION 28; THENCE NORTH 00 DEGREES 08 MINUTES 42 SECONDS EAST ALONG THE WEST LINE OF THE SAID QUARTER FOR A DISTANCE OF 2397.96 FEET; THENCE SOUTH 89 DEGREES 52 MINUTES 42 SECONDS EAST FOR A DISTANCE OF 25.00 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 42 SECONDS EAST, PARALLEL WITH THE SAID WEST LINE, FOR A DISTANCE OF 100.00 FEET; THENCE NORTH 16 DEGREES 50 MINUTES 39 SECONDS EAST FOR A DISTANCE OF 52.50 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 42 SECONDS EAST, PARALLEL WITH THE SAID WEST LINE, FOR A DISTANCE OF 100.39 FEET; THENCE NORTH 89 DEGREES 09 MINUTES 56 SECONDS EAST, ALONG THE NORTH LINE OF THE SAID QUARTER, FOR A DISTANCE OF 1288.02 FEET TO THE NORTHEAST CORNER OF THE WEST HALF OF THE SAID QUARTER; THENCE SOUTH 00 DEGREES 09 MINUTES 43 SECONDS WEST, ALONG THE EAST LINE OF THE SAID WEST HALF, FOR A DISTANCE OF 1324.58 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF SAID QUARTER; THENCE NORTH 89 DEGREES 11 MINUTES 29 SECONDS EAST FOR A DISTANCE OF 663.85 FEET; THENCE SOUTH 00 DEGREES 10 MINUTES 14 SECONDS WEST FOR A DISTANCE OF 1324.89 FEET TO A POINT ON THE SOUTH LINE OF THE SAID QUARTER; THENCE SOUTH 89 DEGREES 13 MINUTES 02 SECONDS WEST, ALONG THE SAID SOUTH LINE, FOR A DISTANCE OF 1990.95 FEET TO THE POINT OF BEGINNING, CONTAINING 100.712 ACRES OF LAND, MORE OR LESS.

A PART OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 19 NORTH, RANGE 4 EAST, HAMILTON COUNTY, INDIANA, AND BEING THAT PART OF THE GRANTOR'S LAND DESCRIBED IN INSTRUMENT 200300070352, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHWEST CORNER OF THE SAID QUARTER SECTION AND THE GRANTOR'S LAND; THENCE ON AND ALONG THE WEST LINE OF SAID QUARTER SECTION AND GRANTOR'S LAND NORTH 00 DEGREES 04 MINUTES 06 SECONDS WEST (BASIS OF BEARING BEING THE LOCATION CONTROL ROUTE SURVEY PLAT RECORDED AS INSTRUMENT NUMBER 2018052014 IN THE OFFICE OF THE RECORDER OF SAID COUNTY) 62.93 FEET; THENCE NORTH 89 DEGREES 00 MINUTES 08 SECONDS EAST 409.67 FEET TO THE POINT OF BEGINNING, DESIGNATED "652" ON SAID PLAT; THENCE NORTH 00 DEGREES 59 MINUTES 52 SECONDS WEST 101.00 FEET TO POINT DESIGNATED "653" ON SAID PLAT; THENCE NORTH 89 DEGREES 00 MINUTES 08 SECONDS EAST 215.00 FEET TO POINT DESIGNATED "654" ON SAID PLAT; THENCE SOUTH 00 DEGREES 59 MINUTES 52 SECONDS EAST 101.00 FEET TO POINT DESIGNATED "655" ON SAID PLAT; THENCE SOUTH 89 DEGREES 00 MINUTES 08 SECONDS WEST 215.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.499 ACRES (21715.00 SQUARE FEET), MORE OR LESS.

EXHIBIT A

Depiction of Legal Description
(Page 2 of 2)

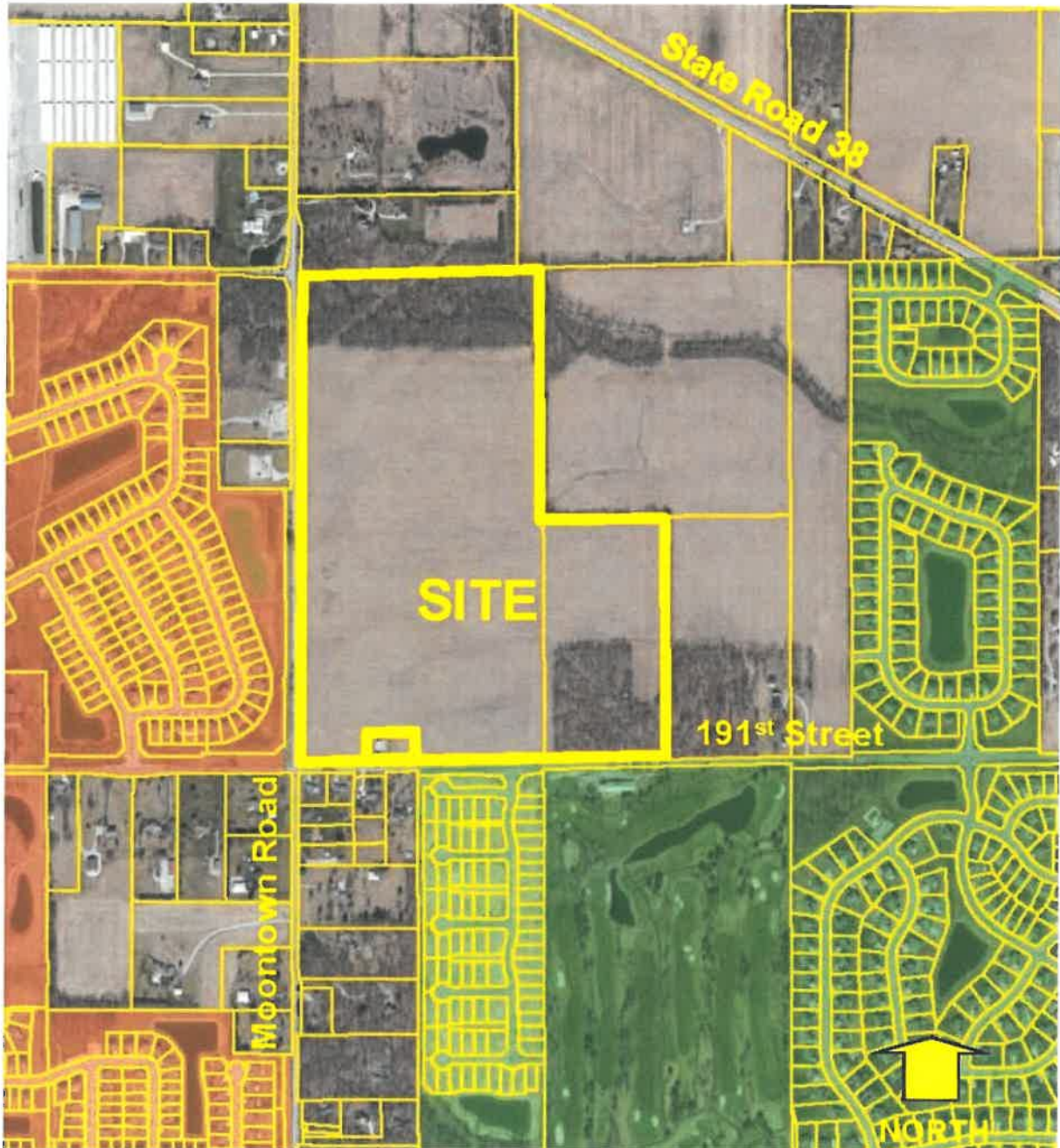


EXHIBIT B

PRELIMINARY DEVELOPMENT PLAN

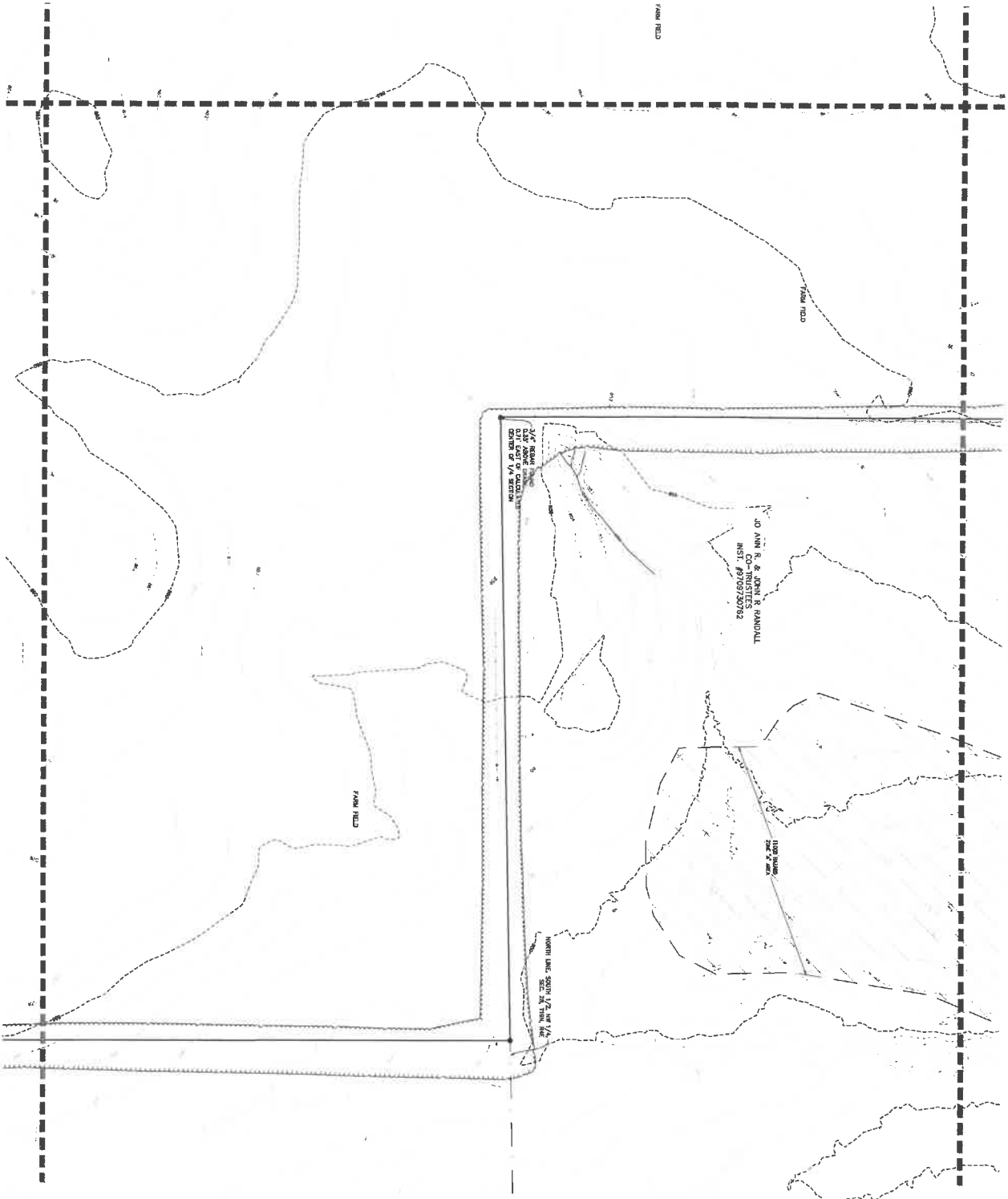


(See following 42 pages which are the PDP plan set on file with Noblesville Planning)

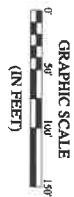
FOR CONTINUATION SEE SHEET C0.12

FOR CONTINUATION SEE SHEET C0.15

FOR CONTINUATION SEE SHEET C0.11



LEGEND & NOTES:
SEE SHEET C0.10 FOR LEGEND AND NOTES.



Call 811 or 800-382-5544 Before you Dig!



**BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
EXISTING CONDITIONS PLAN**



REVISIONS	
DATE	DESCRIPTION

C0.13

EXISTING CONDITIONS
PLAN

SHEET

OWNER: MI HOMES

PROJECT: 2024-304-5 MI HOMES

DATE: JANUARY 14, 2025

BY: JC, AV

CHECKED BY: [Signature]

NUMBER OF SHEETS: 14

THIS SHEET: 13

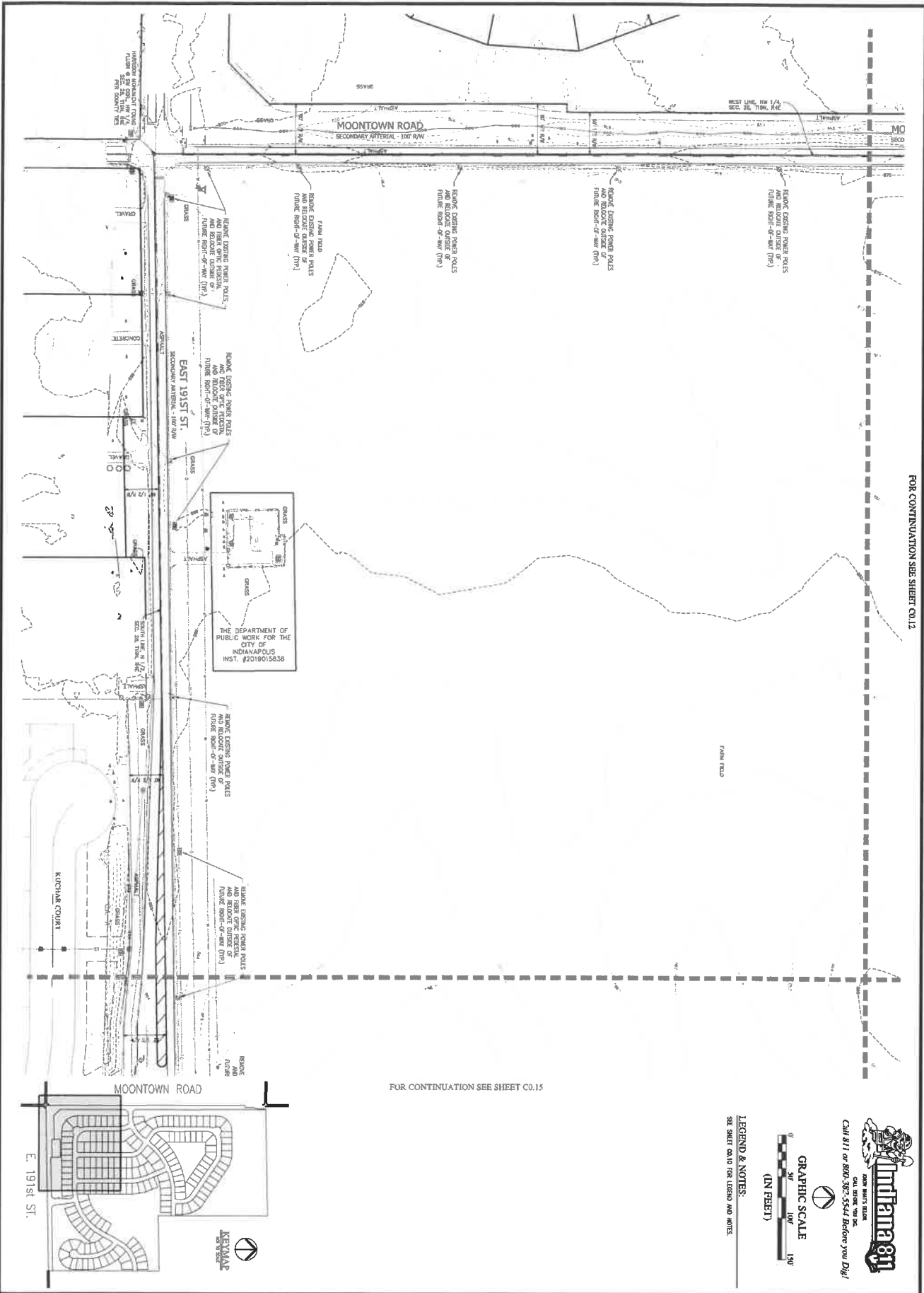
STATE OF INDIANA

LAND SURVEYOR

NO. 158000165

ROBERT M. COYLE

5-2023



FOR CONTINUATION SEE SHEET CO.12

FOR CONTINUATION SEE SHEET CO.15



Call 811 or 800-362-3544 Before you Dig!



LEGEND & NOTES:
SEE SHEET CO.10 FOR LEGEND AND NOTES.

CO.14
EXISTING CONDITIONS
PLAN

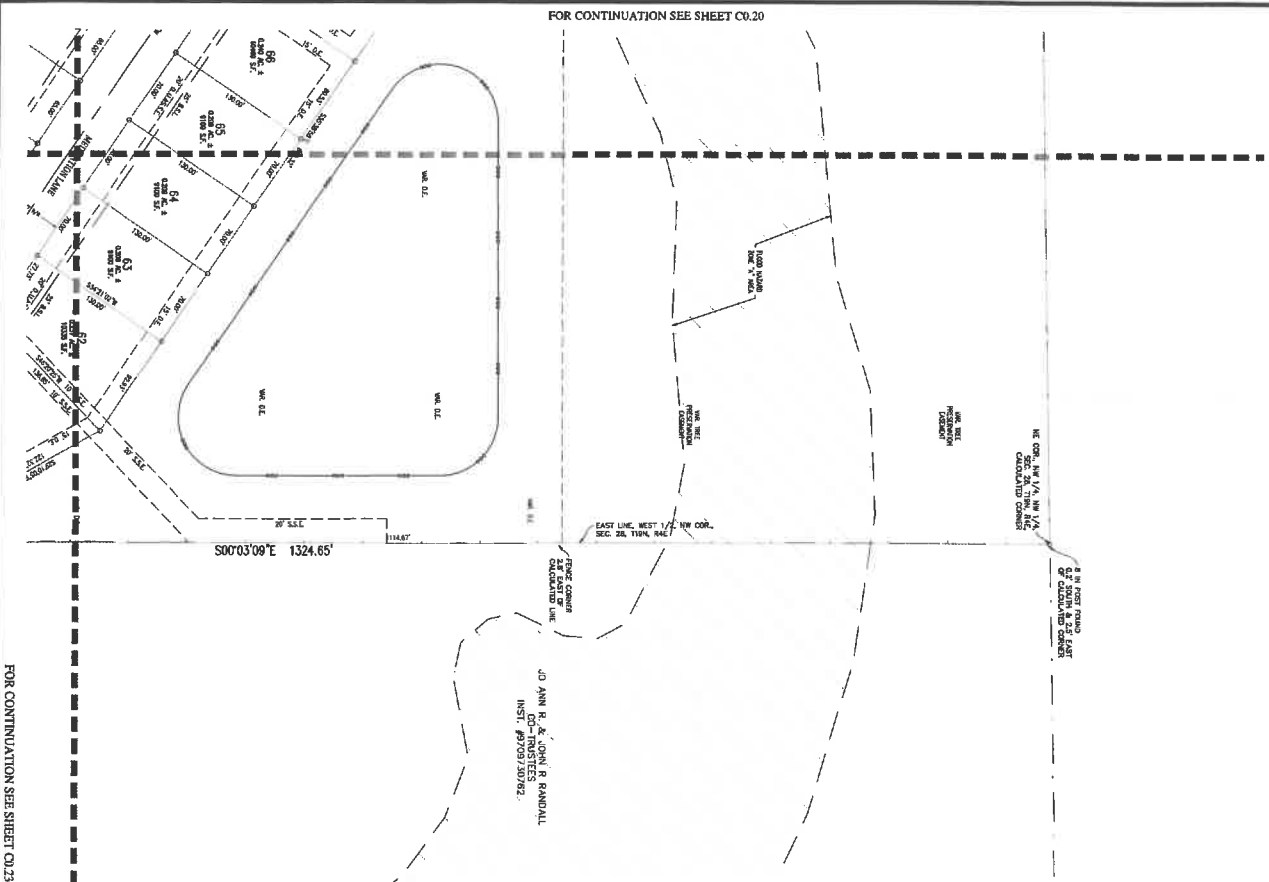
DATE: 04/23/25 BY: JAYLA
DRAWN: 04/23/25
CHECKED: 04/23/25
APPROVED: 04/23/25

BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
EXISTING CONDITIONS PLAN

REVISIONS

DATE	DESCRIPTION	BY

HWC
ENGINEERING
www.hwc-engineering.com



Curve Table					
Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	100.24'	500.00'	100.00'	N89°45'00"W	11°30'30"
C-2	117.20'	423.00'	117.00'	N87°20'00"W	20°00'15"
C-3	32.24'	323.00'	32.23'	N85°48'30"W	3°30'00"
C-4	28.66'	20.00'	27.24'	N65°27'30"W	65°27'30"
C-5	20.86'	20.00'	20.86'	N65°27'30"W	65°27'30"
C-6	61.44'	600.00'	60.00'	N65°27'30"W	65°27'30"
C-7	60.25'	512.00'	58.23'	N65°27'30"W	65°27'30"
C-8	90.86'	623.00'	90.81'	N65°27'30"W	65°27'30"
C-9	40.32'	623.00'	40.32'	N65°27'30"W	65°27'30"
C-10	32.67'	20.00'	31.17'	N65°27'30"W	65°27'30"
C-11	20.87'	20.00'	20.87'	N65°27'30"W	65°27'30"
C-12	35.84'	400.00'	35.84'	N65°27'30"W	65°27'30"
C-13	31.44'	312.00'	30.44'	N65°27'30"W	65°27'30"
C-14	30.44'	312.00'	30.44'	N65°27'30"W	65°27'30"
C-15	10.00'	12.00'	10.00'	N65°27'30"W	65°27'30"
C-16	10.00'	12.00'	10.00'	N65°27'30"W	65°27'30"
C-17	43.17'	172.00'	43.17'	N65°27'30"W	65°27'30"
C-18	32.01'	20.00'	30.41'	N65°27'30"W	65°27'30"
C-19	16.16'	20.00'	16.16'	N65°27'30"W	65°27'30"
C-20	20.14'	33.00'	20.14'	N65°27'30"W	65°27'30"
C-21	37.62'	33.00'	35.41'	N65°27'30"W	65°27'30"
C-22	34.18'	22.00'	32.15'	N65°27'30"W	65°27'30"
C-23	39.82'	37.00'	38.08'	N65°27'30"W	65°27'30"
C-24	31.42'	20.00'	28.26'	N65°27'30"W	65°27'30"
C-25	31.42'	20.00'	28.26'	N65°27'30"W	65°27'30"
C-26	18.86'	16.00'	18.86'	N65°27'30"W	65°27'30"
C-27	17.78'	42.00'	17.78'	N65°27'30"W	65°27'30"
C-28	19.84'	49.00'	19.84'	N65°27'30"W	65°27'30"
C-29	32.25'	20.00'	28.21'	N65°27'30"W	65°27'30"
C-30	32.25'	20.00'	28.21'	N65°27'30"W	65°27'30"
C-31	30.86'	22.00'	28.21'	N65°27'30"W	65°27'30"
C-32	28.64'	22.00'	26.23'	N65°27'30"W	65°27'30"
C-33	28.64'	22.00'	26.23'	N65°27'30"W	65°27'30"
C-34	28.64'	22.00'	26.23'	N65°27'30"W	65°27'30"
C-35	31.42'	20.00'	28.26'	N65°27'30"W	65°27'30"
C-36	31.42'	20.00'	28.26'	N65°27'30"W	65°27'30"
C-37	31.42'	20.00'	28.26'	N65°27'30"W	65°27'30"
C-38	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-39	11.32'	12.00'	11.32'	N65°27'30"W	65°27'30"
C-40	17.12'	17.00'	16.02'	N65°27'30"W	65°27'30"

Curve Table					
Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-41	50.11'	150.00'	49.37'	N65°27'30"W	65°27'30"
C-42	73.89'	12.00'	72.79'	N65°27'30"W	65°27'30"
C-43	106.33'	172.00'	104.14'	N65°27'30"W	65°27'30"
C-44	106.33'	172.00'	104.14'	N65°27'30"W	65°27'30"
C-45	106.33'	172.00'	104.14'	N65°27'30"W	65°27'30"
C-46	106.33'	172.00'	104.14'	N65°27'30"W	65°27'30"
C-47	67.20'	172.00'	65.26'	N65°27'30"W	65°27'30"
C-48	28.64'	20.00'	26.23'	N65°27'30"W	65°27'30"
C-49	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-50	28.64'	20.00'	26.23'	N65°27'30"W	65°27'30"
C-51	67.20'	172.00'	65.26'	N65°27'30"W	65°27'30"
C-52	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-53	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-54	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-55	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-56	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-57	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-58	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-59	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-60	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-61	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-62	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-63	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-64	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-65	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-66	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-67	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-68	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-69	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"
C-70	14.51'	16.00'	14.51'	N65°27'30"W	65°27'30"



REVISIONS

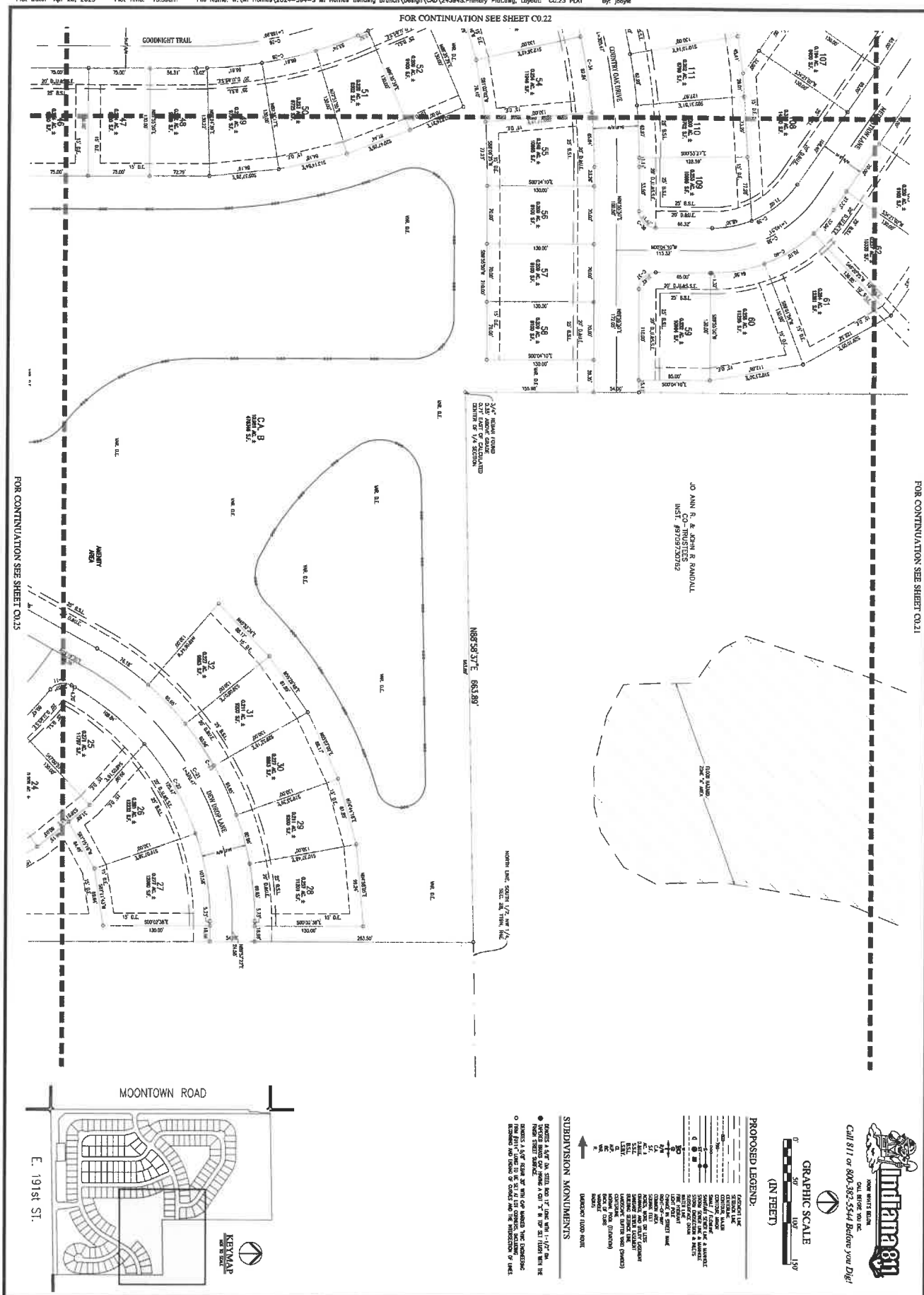
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04/23/25	ISSUED FOR PERMIT	JOE
04/23/25	ISSUED FOR PERMIT	JOE

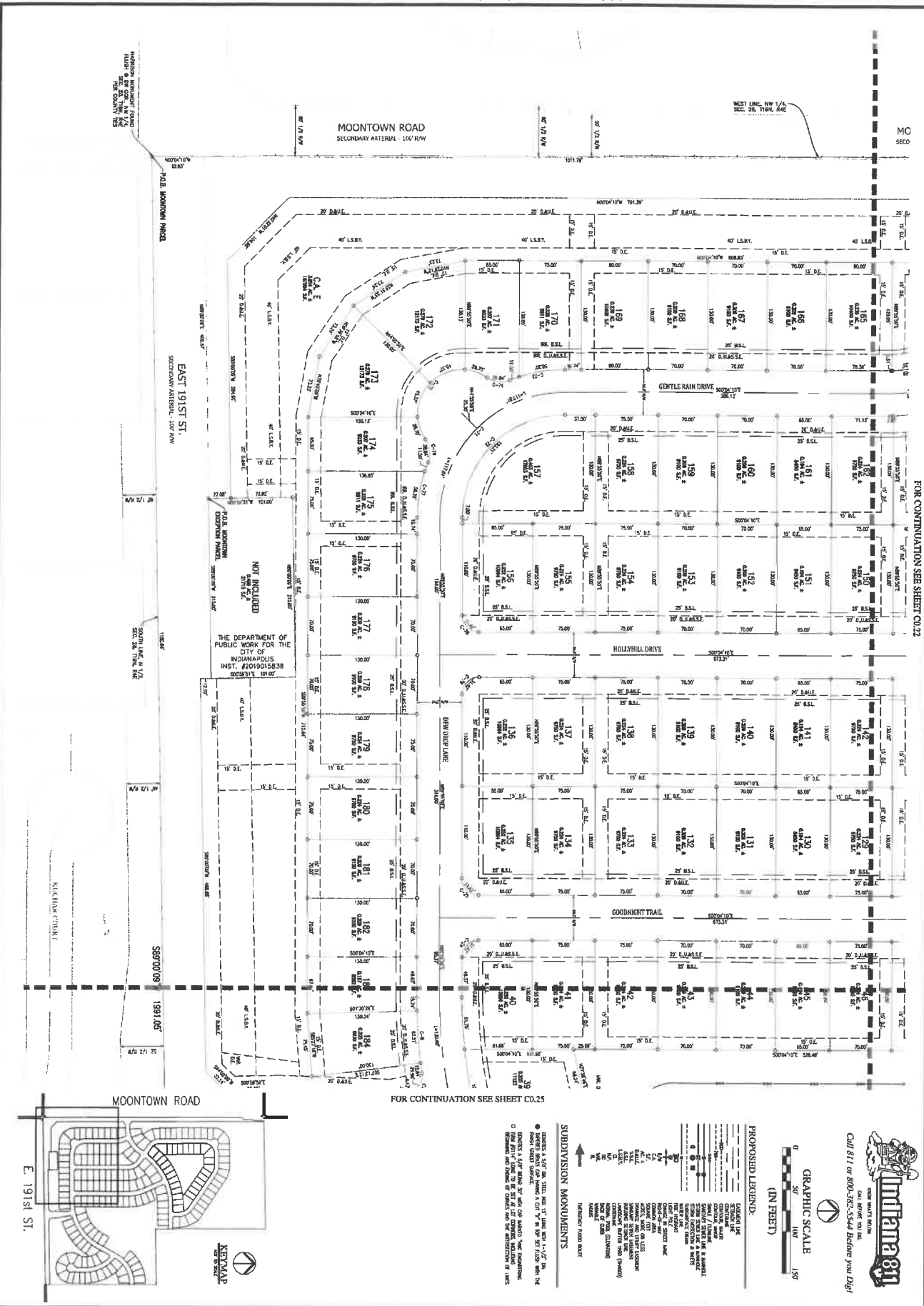
BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
PRIMARY PLAT

CO.21
PRIMARY PLAT

ENGINEERING
HMC

[illegible]

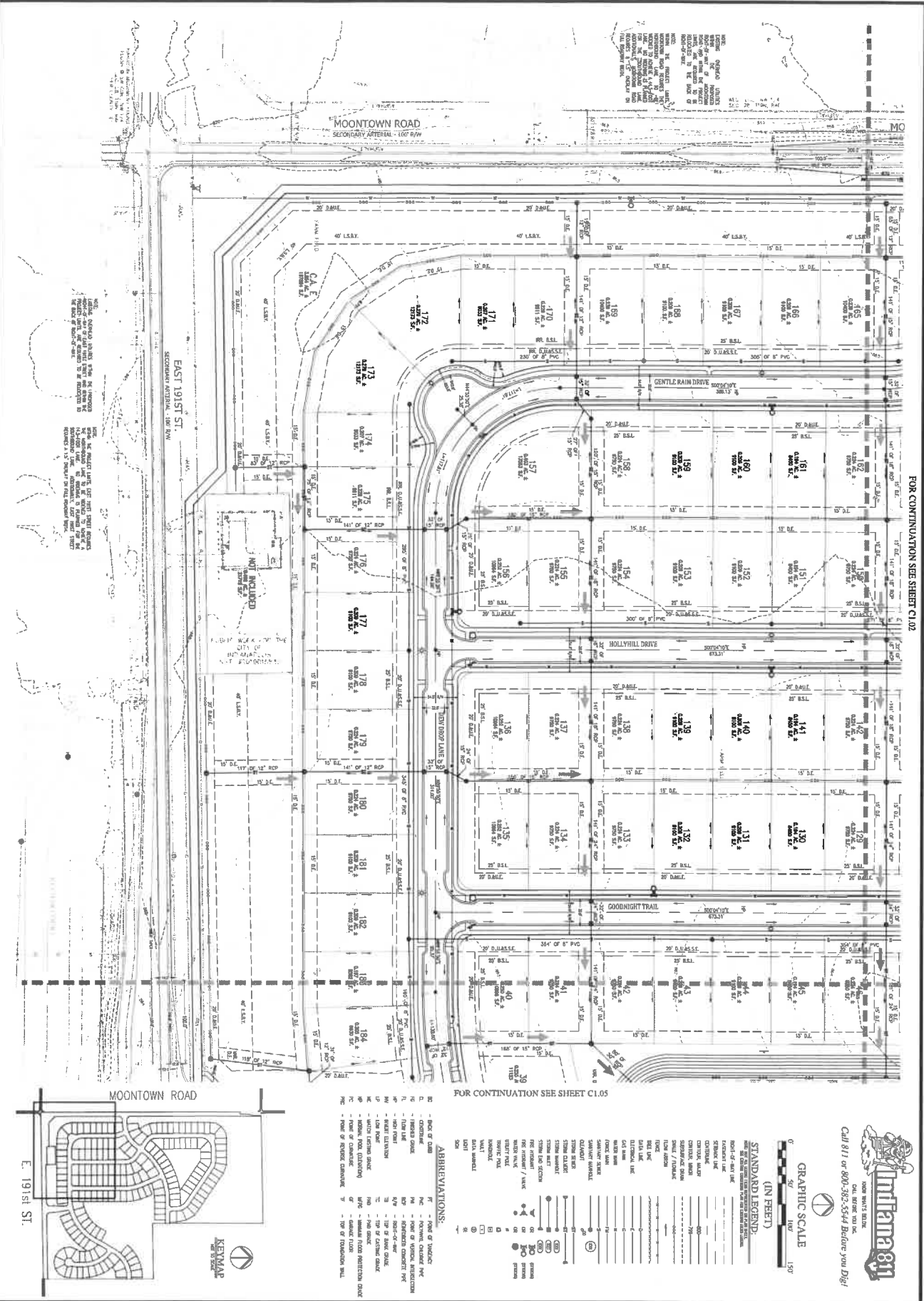




**BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA**

**PRELIMINARY DEVELOPMENT PLAN SET
PRIMARY PLAT**

[illegible]



FOR CONTINUATION SEE SHEET C1.02

FOR CONTINUATION SEE SHEET C1.05

ABBREVIATIONS:

- AC - AREA OF CEMENT
- AD - AREA OF DRIVE
- AS - AREA OF SIDEWALK
- CC - CEMENT CURB
- CD - CEMENT DRIVE
- CE - CEMENT EDGE
- CH - CHALK LINE
- CL - CENTER LINE
- CM - CEMENT MASONRY
- CS - CEMENT SURFACE
- CT - CEMENT TIE
- CU - CEMENT UNDERLAY
- CV - CEMENT VENEER
- DC - DRIVE CURB
- DE - DRIVE EDGE
- DF - DRIVE FINISH
- DI - DRIVE INLET
- DO - DRIVE OUTLET
- DS - DRIVE SURFACE
- DT - DRIVE TIE
- DU - DRIVE UNDERLAY
- DV - DRIVE VENEER
- EC - EDGE CURB
- ED - EDGE DRIVE
- EF - EDGE FINISH
- EI - EDGE INLET
- EO - EDGE OUTLET
- ES - EDGE SURFACE
- ET - EDGE TIE
- EU - EDGE UNDERLAY
- EV - EDGE VENEER
- FC - FINISH CURB
- FD - FINISH DRIVE
- FE - FINISH EDGE
- FI - FINISH INLET
- FO - FINISH OUTLET
- FS - FINISH SURFACE
- FT - FINISH TIE
- FU - FINISH UNDERLAY
- FV - FINISH VENEER
- GC - GRASS CURB
- GD - GRASS DRIVE
- GE - GRASS EDGE
- GI - GRASS INLET
- GO - GRASS OUTLET
- GS - GRASS SURFACE
- GT - GRASS TIE
- GU - GRASS UNDERLAY
- GV - GRASS VENEER
- HC - HATCH CURB
- HD - HATCH DRIVE
- HE - HATCH EDGE
- HI - HATCH INLET
- HO - HATCH OUTLET
- HS - HATCH SURFACE
- HT - HATCH TIE
- HU - HATCH UNDERLAY
- HV - HATCH VENEER
- IC - INLET CURB
- ID - INLET DRIVE
- IE - INLET EDGE
- IO - INLET OUTLET
- IS - INLET SURFACE
- IT - INLET TIE
- IU - INLET UNDERLAY
- IV - INLET VENEER
- OC - OUTLET CURB
- OD - OUTLET DRIVE
- OE - OUTLET EDGE
- OO - OUTLET OUTLET
- OS - OUTLET SURFACE
- OT - OUTLET TIE
- OU - OUTLET UNDERLAY
- OV - OUTLET VENEER
- PC - PAVED CURB
- PD - PAVED DRIVE
- PE - PAVED EDGE
- PI - PAVED INLET
- PO - PAVED OUTLET
- PS - PAVED SURFACE
- PT - PAVED TIE
- PU - PAVED UNDERLAY
- PV - PAVED VENEER
- RC - REINFORCED CURB
- RD - REINFORCED DRIVE
- RE - REINFORCED EDGE
- RI - REINFORCED INLET
- RO - REINFORCED OUTLET
- RS - REINFORCED SURFACE
- RT - REINFORCED TIE
- RU - REINFORCED UNDERLAY
- RV - REINFORCED VENEER
- SC - SIDEWALK CURB
- SD - SIDEWALK DRIVE
- SE - SIDEWALK EDGE
- SI - SIDEWALK INLET
- SO - SIDEWALK OUTLET
- SS - SIDEWALK SURFACE
- ST - SIDEWALK TIE
- SU - SIDEWALK UNDERLAY
- SV - SIDEWALK VENEER
- TC - TOP CURB
- TD - TOP DRIVE
- TE - TOP EDGE
- TI - TOP INLET
- TO - TOP OUTLET
- TS - TOP SURFACE
- TT - TOP TIE
- TU - TOP UNDERLAY
- TV - TOP VENEER
- UC - UNDERLAY CURB
- UD - UNDERLAY DRIVE
- UE - UNDERLAY EDGE
- UI - UNDERLAY INLET
- UO - UNDERLAY OUTLET
- US - UNDERLAY SURFACE
- UT - UNDERLAY TIE
- UU - UNDERLAY UNDERLAY
- UV - UNDERLAY VENEER
- VC - VENEER CURB
- VD - VENEER DRIVE
- VE - VENEER EDGE
- VI - VENEER INLET
- VO - VENEER OUTLET
- VS - VENEER SURFACE
- VT - VENEER TIE
- VU - VENEER UNDERLAY
- VV - VENEER VENEER
- WC - WOOD CURB
- WD - WOOD DRIVE
- WE - WOOD EDGE
- WI - WOOD INLET
- WO - WOOD OUTLET
- WS - WOOD SURFACE
- WT - WOOD TIE
- WU - WOOD UNDERLAY
- WV - WOOD VENEER
- YC - YELLOW CURB
- YD - YELLOW DRIVE
- YE - YELLOW EDGE
- YI - YELLOW INLET
- YO - YELLOW OUTLET
- YS - YELLOW SURFACE
- YT - YELLOW TIE
- YU - YELLOW UNDERLAY
- YV - YELLOW VENEER
- ZC - ZONE CURB
- ZD - ZONE DRIVE
- ZE - ZONE EDGE
- ZI - ZONE INLET
- ZO - ZONE OUTLET
- ZS - ZONE SURFACE
- ZT - ZONE TIE
- ZU - ZONE UNDERLAY
- ZV - ZONE VENEER



STANDARD LEGEND:

NOTES: SEE SHEET C1.01 FOR GENERAL NOTES AND SPECIFICATIONS.

1. ALL DIMENSIONS ARE IN FEET AND INCHES.

2. ALL DIMENSIONS ARE TO THE CENTER LINE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO THE EXTERIOR UNLESS OTHERWISE NOTED.

4. ALL DIMENSIONS ARE TO THE CENTER LINE UNLESS OTHERWISE NOTED.

5. ALL DIMENSIONS ARE TO THE EXTERIOR UNLESS OTHERWISE NOTED.

6. ALL DIMENSIONS ARE TO THE CENTER LINE UNLESS OTHERWISE NOTED.

7. ALL DIMENSIONS ARE TO THE EXTERIOR UNLESS OTHERWISE NOTED.

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22. ALL DIMENSIONS ARE TO THE CENTER LINE UNLESS OTHERWISE NOTED.

23. ALL DIMENSIONS ARE TO THE EXTERIOR UNLESS OTHERWISE NOTED.

24. ALL DIMENSIONS ARE TO THE CENTER LINE UNLESS OTHERWISE NOTED.



C1.04

DEVELOPMENT PLAN

DATE: JANUARY 14, 2025

BY: J. COYLE

FOR: BENDING BRANCH

PROJECT: BENDING BRANCH - EAST 191ST STREET

SHEET: 1 OF 1

BENDING BRANCH - EAST 191ST STREET

CITY OF NOBLESVILLE, INDIANA

DEVELOPMENT PLAN

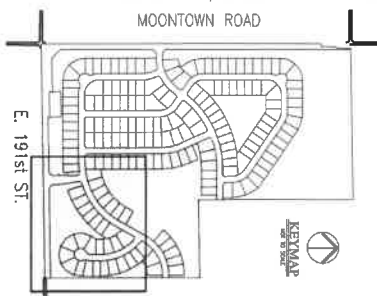
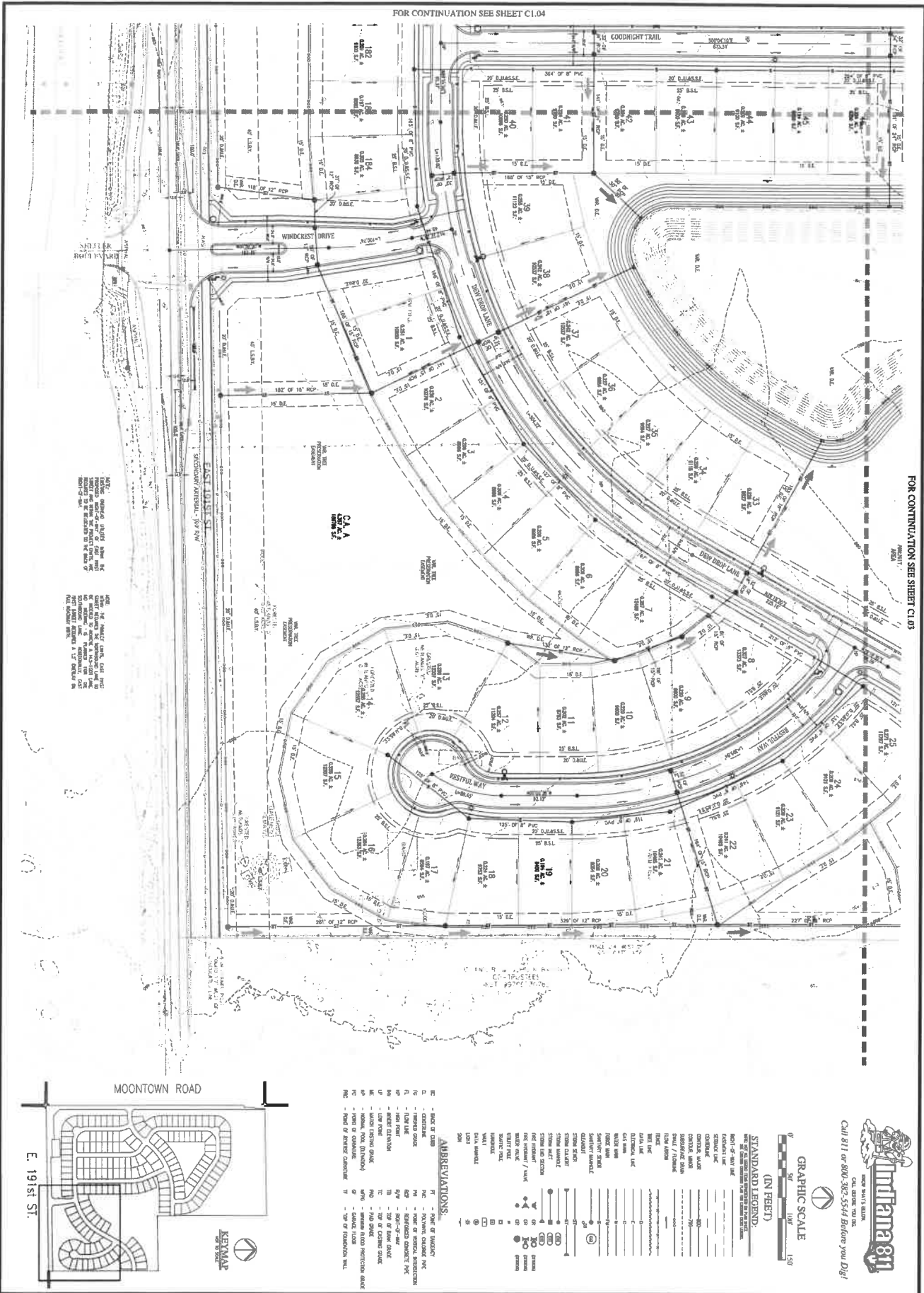
REVISIONS

DATE	DESCRIPTION	BY
01/14/25	ISSUED FOR PERMIT	J. COYLE
01/14/25	ISSUED FOR PERMIT	J. COYLE

HWC

ENGINEERING

1000 W. 10TH ST. SUITE 100
N. INDIANAPOLIS, IN 46202
TEL: 317.634.1111
WWW.HWCENGINEERING.COM



GRAPHIC SCALE

STANDARD LEGEND

ABBREVIATIONS

AC	ADJUSTED CURVE	PC	POINT OF CURVATURE
AL	ADJUSTED LENGTH	PE	POINT OF ENTRY
AP	ADJUSTED POINT	PI	POINT OF INTERSECTION
AS	ADJUSTED SIDEWALK	PL	POINT OF LANE
AT	ADJUSTED TRAIL	PM	POINT OF MILE
AV	ADJUSTED VALLEY	PP	POINT OF PAVEMENT
AW	ADJUSTED WALL	PR	POINT OF RAMP
AX	ADJUSTED AXIS	PS	POINT OF SLOPE
AY	ADJUSTED AREA	PT	POINT OF TANGENT
AZ	ADJUSTED AREA	PU	POINT OF UPRIGHT
BA	BANK	PV	POINT OF VERTICAL
BB	BANK	PW	POINT OF WALK
BC	BANK	PC	POINT OF CURVATURE
BD	BANK	PE	POINT OF ENTRY
BE	BANK	PI	POINT OF INTERSECTION
BF	BANK	PL	POINT OF LANE
BG	BANK	PM	POINT OF MILE
BH	BANK	PP	POINT OF PAVEMENT
BI	BANK	PR	POINT OF RAMP
BJ	BANK	PS	POINT OF SLOPE
BK	BANK	PT	POINT OF TANGENT
BL	BANK	PU	POINT OF UPRIGHT
BM	BANK	PV	POINT OF VERTICAL
BN	BANK	PW	POINT OF WALK
BO	BANK	PC	POINT OF CURVATURE
BP	BANK	PE	POINT OF ENTRY
BQ	BANK	PI	POINT OF INTERSECTION
BR	BANK	PL	POINT OF LANE
BS	BANK	PM	POINT OF MILE
BT	BANK	PP	POINT OF PAVEMENT
BU	BANK	PR	POINT OF RAMP
BV	BANK	PS	POINT OF SLOPE
BW	BANK	PT	POINT OF TANGENT
BX	BANK	PU	POINT OF UPRIGHT
BY	BANK	PV	POINT OF VERTICAL
BZ	BANK	PW	POINT OF WALK
CA	CURVE	PC	POINT OF CURVATURE
CB	CURVE	PE	POINT OF ENTRY
CC	CURVE	PI	POINT OF INTERSECTION
CD	CURVE	PL	POINT OF LANE
CE	CURVE	PM	POINT OF MILE
CF	CURVE	PP	POINT OF PAVEMENT
CG	CURVE	PR	POINT OF RAMP
CH	CURVE	PS	POINT OF SLOPE
CI	CURVE	PT	POINT OF TANGENT
CJ	CURVE	PU	POINT OF UPRIGHT
CK	CURVE	PV	POINT OF VERTICAL
CL	CURVE	PW	POINT OF WALK
CM	CURVE	PC	POINT OF CURVATURE
CN	CURVE	PE	POINT OF ENTRY
CO	CURVE	PI	POINT OF INTERSECTION
CP	CURVE	PL	POINT OF LANE
CQ	CURVE	PM	POINT OF MILE
CR	CURVE	PP	POINT OF PAVEMENT
CS	CURVE	PR	POINT OF RAMP
CT	CURVE	PS	POINT OF SLOPE
CU	CURVE	PT	POINT OF TANGENT
CV	CURVE	PU	POINT OF UPRIGHT
CW	CURVE	PV	POINT OF VERTICAL
CX	CURVE	PW	POINT OF WALK
CY	CURVE	PC	POINT OF CURVATURE
CZ	CURVE	PE	POINT OF ENTRY
DA	DRAINAGE	PC	POINT OF CURVATURE
DB	DRAINAGE	PE	POINT OF ENTRY
DC	DRAINAGE	PI	POINT OF INTERSECTION
DD	DRAINAGE	PL	POINT OF LANE
DE	DRAINAGE	PM	POINT OF MILE
DF	DRAINAGE	PP	POINT OF PAVEMENT
DG	DRAINAGE	PR	POINT OF RAMP
DH	DRAINAGE	PS	POINT OF SLOPE
DI	DRAINAGE	PT	POINT OF TANGENT
DJ	DRAINAGE	PU	POINT OF UPRIGHT
DK	DRAINAGE	PV	POINT OF VERTICAL
DL	DRAINAGE	PW	POINT OF WALK
DM	DRAINAGE	PC	POINT OF CURVATURE
DN	DRAINAGE	PE	POINT OF ENTRY
DO	DRAINAGE	PI	POINT OF INTERSECTION
DP	DRAINAGE	PL	POINT OF LANE
DQ	DRAINAGE	PM	POINT OF MILE
DR	DRAINAGE	PP	POINT OF PAVEMENT
DS	DRAINAGE	PR	POINT OF RAMP
DT	DRAINAGE	PS	POINT OF SLOPE
DU	DRAINAGE	PT	POINT OF TANGENT
DV	DRAINAGE	PU	POINT OF UPRIGHT
DW	DRAINAGE	PV	POINT OF VERTICAL
DX	DRAINAGE	PW	POINT OF WALK
DY	DRAINAGE	PC	POINT OF CURVATURE
DZ	DRAINAGE	PE	POINT OF ENTRY
EA	ELEVATION	PC	POINT OF CURVATURE
EB	ELEVATION	PE	POINT OF ENTRY
EC	ELEVATION	PI	POINT OF INTERSECTION
ED	ELEVATION	PL	POINT OF LANE
EE	ELEVATION	PM	POINT OF MILE
EF	ELEVATION	PP	POINT OF PAVEMENT
EG	ELEVATION	PR	POINT OF RAMP
EH	ELEVATION	PS	POINT OF SLOPE
EI	ELEVATION	PT	POINT OF TANGENT
EJ	ELEVATION	PU	POINT OF UPRIGHT
EK	ELEVATION	PV	POINT OF VERTICAL
EL	ELEVATION	PW	POINT OF WALK
EM	ELEVATION	PC	POINT OF CURVATURE
EN	ELEVATION	PE	POINT OF ENTRY
EO	ELEVATION	PI	POINT OF INTERSECTION
EP	ELEVATION	PL	POINT OF LANE
EQ	ELEVATION	PM	POINT OF MILE
ER	ELEVATION	PP	POINT OF PAVEMENT
ES	ELEVATION	PR	POINT OF RAMP
ET	ELEVATION	PS	POINT OF SLOPE
EU	ELEVATION	PT	POINT OF TANGENT
EV	ELEVATION	PU	POINT OF UPRIGHT
EW	ELEVATION	PV	POINT OF VERTICAL
EX	ELEVATION	PW	POINT OF WALK
EY	ELEVATION	PC	POINT OF CURVATURE
EZ	ELEVATION	PE	POINT OF ENTRY

Indiana 811

CALL 811 OR 800-362-3544 Before you Dig!

REVISIONS

DATE	DESCRIPTION	BY
04/23/2025	1.0	JOYLE

Robert J. Coyle

Professional Engineer

License No. 15390-155

State of Indiana

242945

2024-394-S

JOY NUMBER

C1.05

DEVELOPMENT PLAN

9 2025

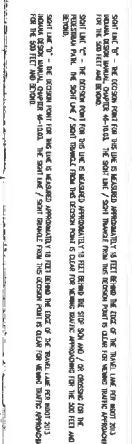
BENDING BRANCH - EAST 191ST STREET

CITY OF NOBLESVILLE, INDIANA

DEVELOPMENT PLAN

HWC

ENGINEERING



HWC
ENGINEERING
www.hwc-engineering.com

DRAWN BY BP, JC, AV CHECKED BY JC DATE JANUARY 14, 2023 SCALE AS SHOWN	JOB NUMBER 2024-594-S
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C1.10

INTERSECTION SIGHT
DISTANCE PLAN

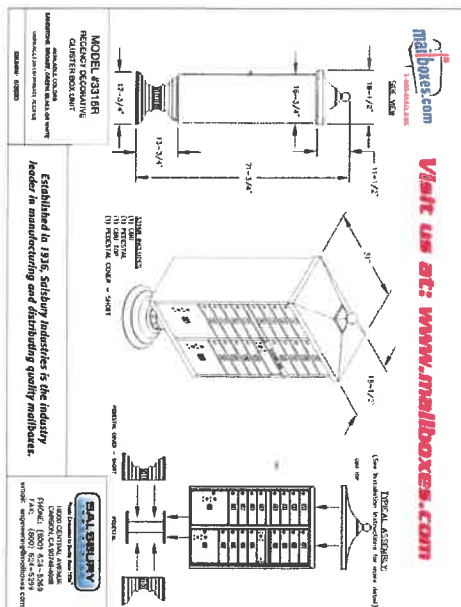


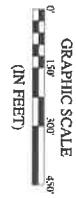
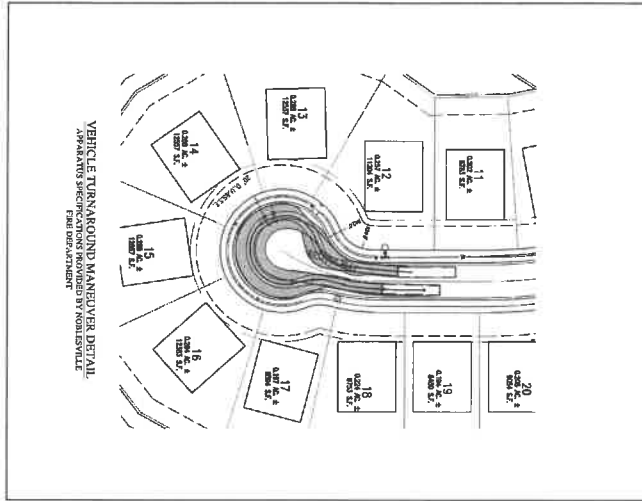
1. CLUSTER BOX MUST BE USPS APPROVED.

2. ALL CLUSTER BODIES TO BE BLACK.
3. ALL CLUSTERED "PODS" SHALL BE FLUSH ALONG THE BACK OF CURB AND DIRECTED TO REMOTE DRAINAGE SETTLEMENT. CONCRETE "PODS" SHALL BE 6" MINIMUM CONCRETE THICKNESS WITH 10% STEELWIRE AND JOINT DETAILS.
4. CLUSTER BOX LOCATIONS CANNOT BE INSTALLED OVER NON-CULVERT LOCATIONS. CLUSTERS AND SURTIMERS, ANY ADJUSTMENT TO LOCATIONS MUST BE APPROVED BY THE CITY OF WHEELING PLANNING AND ENGINEERING DEPARTMENTS AND USES FOREMANET PRIOR TO INSTALLATION.

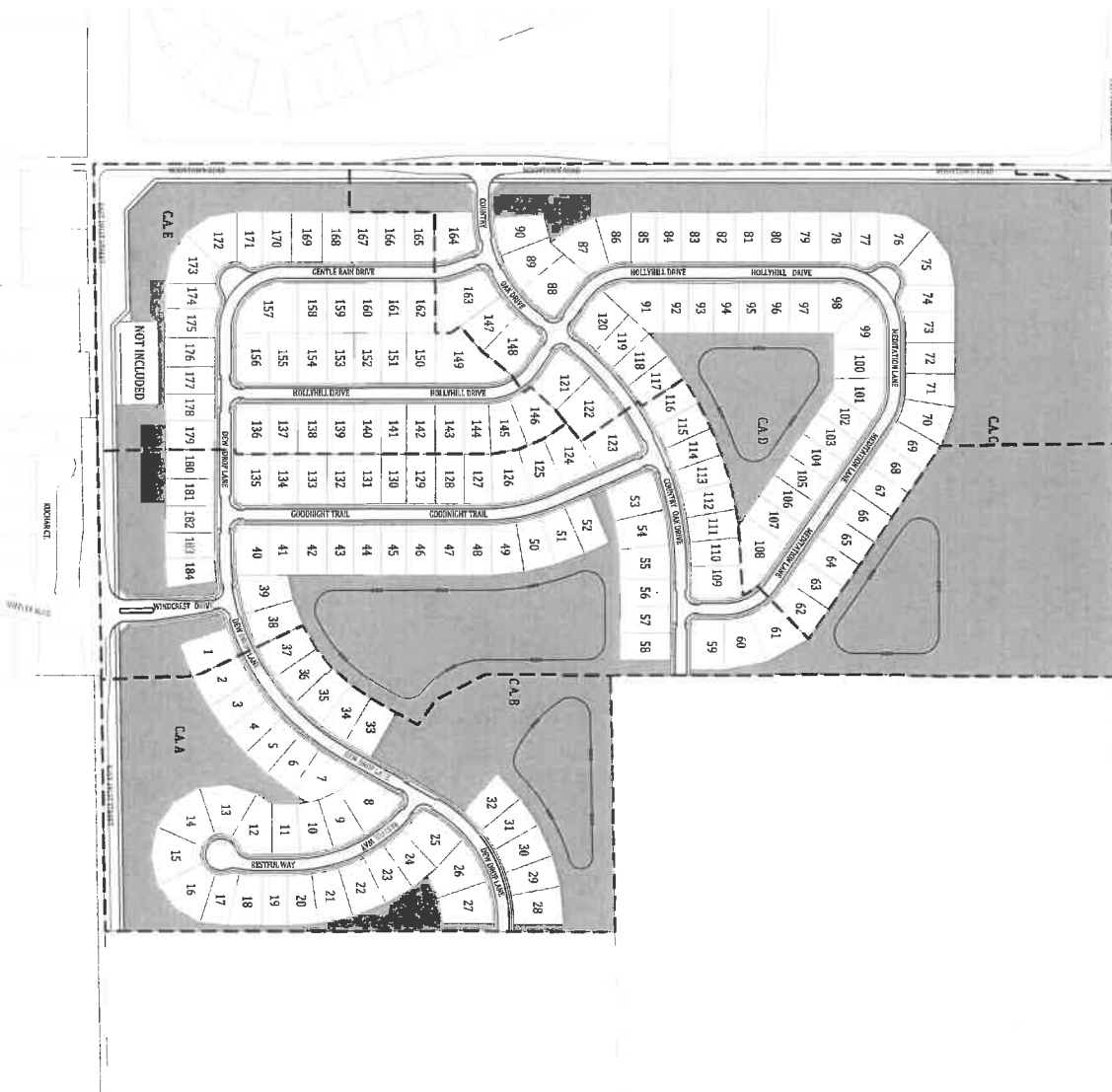


Call 811 or 800-382-5544 Before you Dig!

[illegible]



0.15" = OPEN SPACE PLAN
1" = 100' (AS SHOWN)



C1.40
OPEN SPACE PLAN

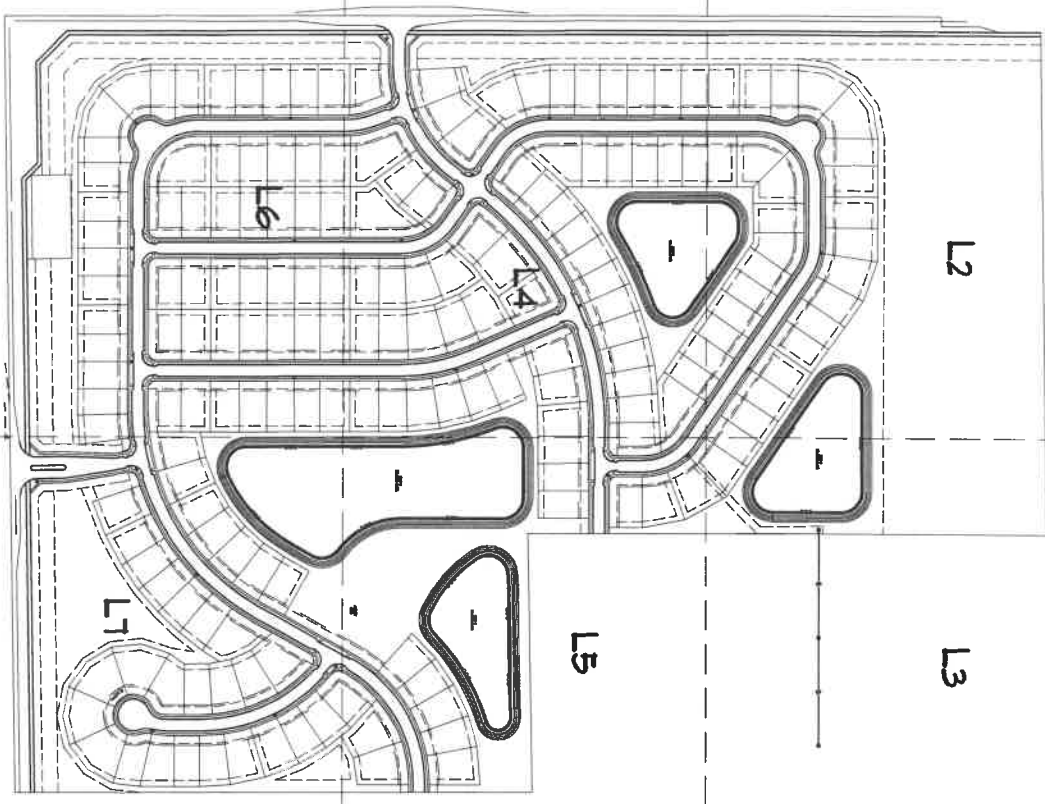
DATE	DESCRIPTION	BY
APR 23, 2025	OPEN SPACE PLAN	AS SHOWN



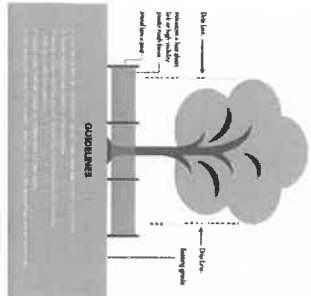
BENDING BRANCH - EAST 191ST STREET
CITY OF NOBLESVILLE, INDIANA
PRELIMINARY DEVELOPMENT PLAN SET
OPEN SPACE PLAN



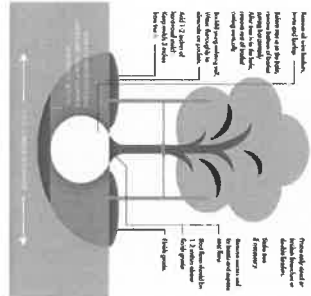
DATE	DESCRIPTION	BY
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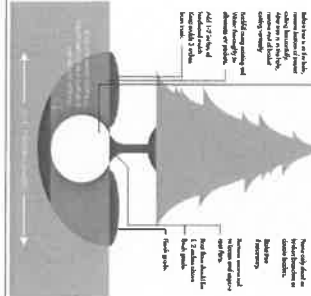
TREE PRESERVATION DETAIL



DECIDUOUS TREE PLANTING DETAIL



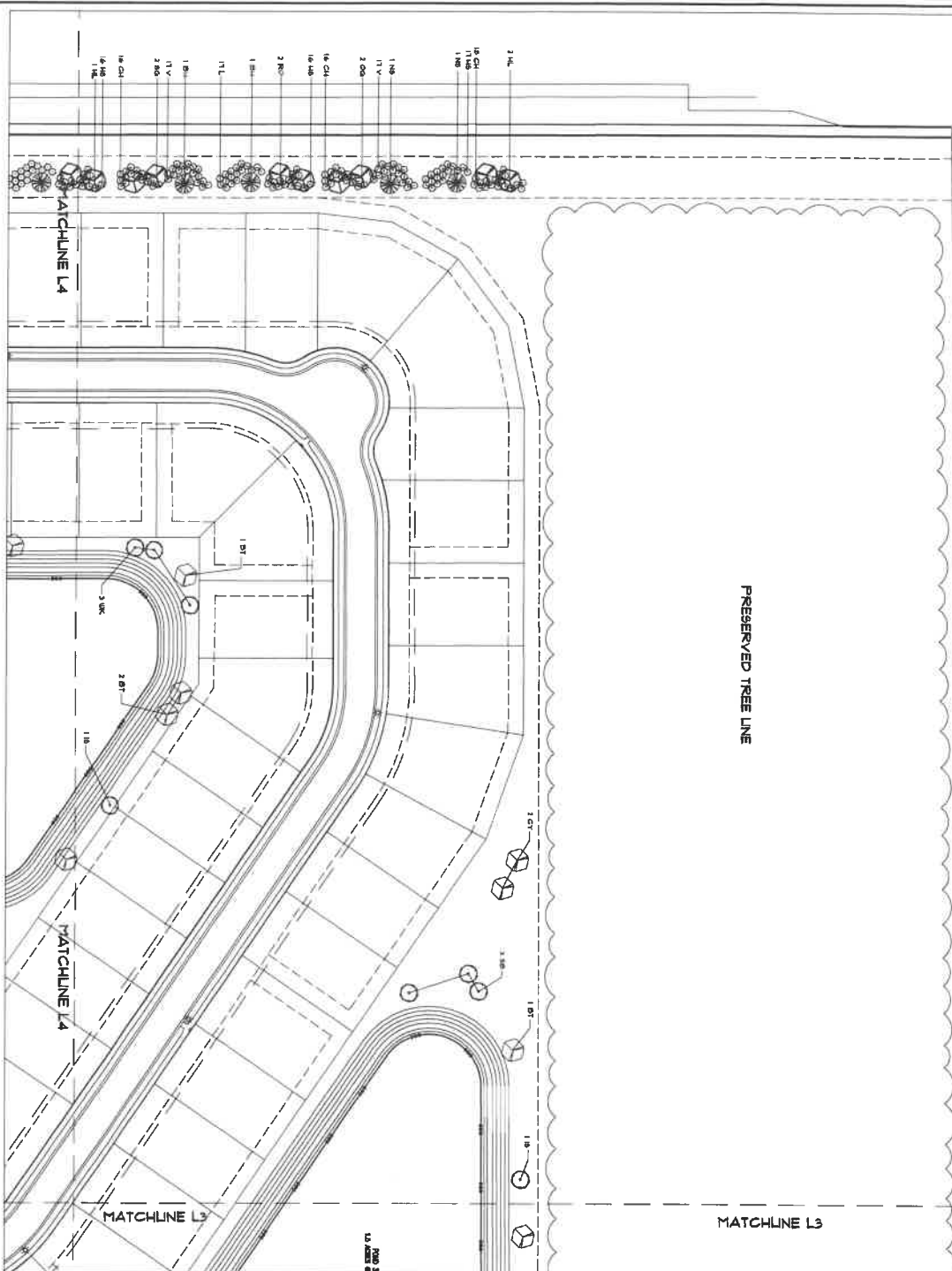
CONIFEROUS TREE PLANTING DETAIL



PLANT SCHEDULE

SYMBOL	KEY	COTYRON NAME	ACRONYM NAME	4000	DAUNT
SHADE TREES					
1	1	RED CEDAR	RED CEDAR	10' TL	14
2	2	RED CEDAR	RED CEDAR	10' TL	14
3	3	RED CEDAR	RED CEDAR	10' TL	14
4	4	RED CEDAR	RED CEDAR	10' TL	14
5	5	RED CEDAR	RED CEDAR	10' TL	14
6	6	RED CEDAR	RED CEDAR	10' TL	14
7	7	RED CEDAR	RED CEDAR	10' TL	14
8	8	RED CEDAR	RED CEDAR	10' TL	14
9	9	RED CEDAR	RED CEDAR	10' TL	14
10	10	RED CEDAR	RED CEDAR	10' TL	14
ORNAMENTAL TREES					
11	11	RED CEDAR	RED CEDAR	10' TL	14
12	12	RED CEDAR	RED CEDAR	10' TL	14
13	13	RED CEDAR	RED CEDAR	10' TL	14
14	14	RED CEDAR	RED CEDAR	10' TL	14
15	15	RED CEDAR	RED CEDAR	10' TL	14
EVERGREEN TREES					
16	16	RED CEDAR	RED CEDAR	10' TL	14
17	17	RED CEDAR	RED CEDAR	10' TL	14
18	18	RED CEDAR	RED CEDAR	10' TL	14
19	19	RED CEDAR	RED CEDAR	10' TL	14
20	20	RED CEDAR	RED CEDAR	10' TL	14
SHRUBS					
21	21	RED CEDAR	RED CEDAR	10' TL	14
22	22	RED CEDAR	RED CEDAR	10' TL	14
23	23	RED CEDAR	RED CEDAR	10' TL	14
24	24	RED CEDAR	RED CEDAR	10' TL	14
25	25	RED CEDAR	RED CEDAR	10' TL	14
26	26	RED CEDAR	RED CEDAR	10' TL	14
27	27	RED CEDAR	RED CEDAR	10' TL	14
28	28	RED CEDAR	RED CEDAR	10' TL	14
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52	52	RED CEDAR	RED CEDAR	10' TL	14
53	53	RED CEDAR	RED CEDAR	10' TL	14
54	54	RED CEDAR	RED CEDAR	10' TL	14
55	55	RED CEDAR	RED CEDAR	10' TL	14
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60	60	RED CEDAR	RED CEDAR	10' TL	14
61	61	RED CEDAR	RED CEDAR	10' TL	14
62	62	RED CEDAR	RED CEDAR	10' TL	14
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87	87	RED CEDAR	RED CEDAR	10' TL	14
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89	89	RED CEDAR	RED CEDAR	10' TL	14
90	90	RED CEDAR	RED CEDAR	10' TL	14
91	91	RED CEDAR	RED CEDAR	10' TL	14
92	92	RED CEDAR	RED CEDAR	10' TL	14
93	93	RED CEDAR	RED CEDAR	10' TL	14
94	94	RED CEDAR	RED CEDAR	10' TL	14
95	95	RED CEDAR	RED CEDAR	10' TL	14
96	96	RED CEDAR	RED CEDAR	10' TL	14
97	97	RED CEDAR	RED CEDAR	10' TL	14
98	98	RED CEDAR	RED CEDAR	10' TL	14
99	99	RED CEDAR	RED CEDAR	10' TL	14
100	100	RED CEDAR	RED CEDAR	10' TL	14

NOT TO SCALE
NORTH



PLANT SCHEDULE					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANT

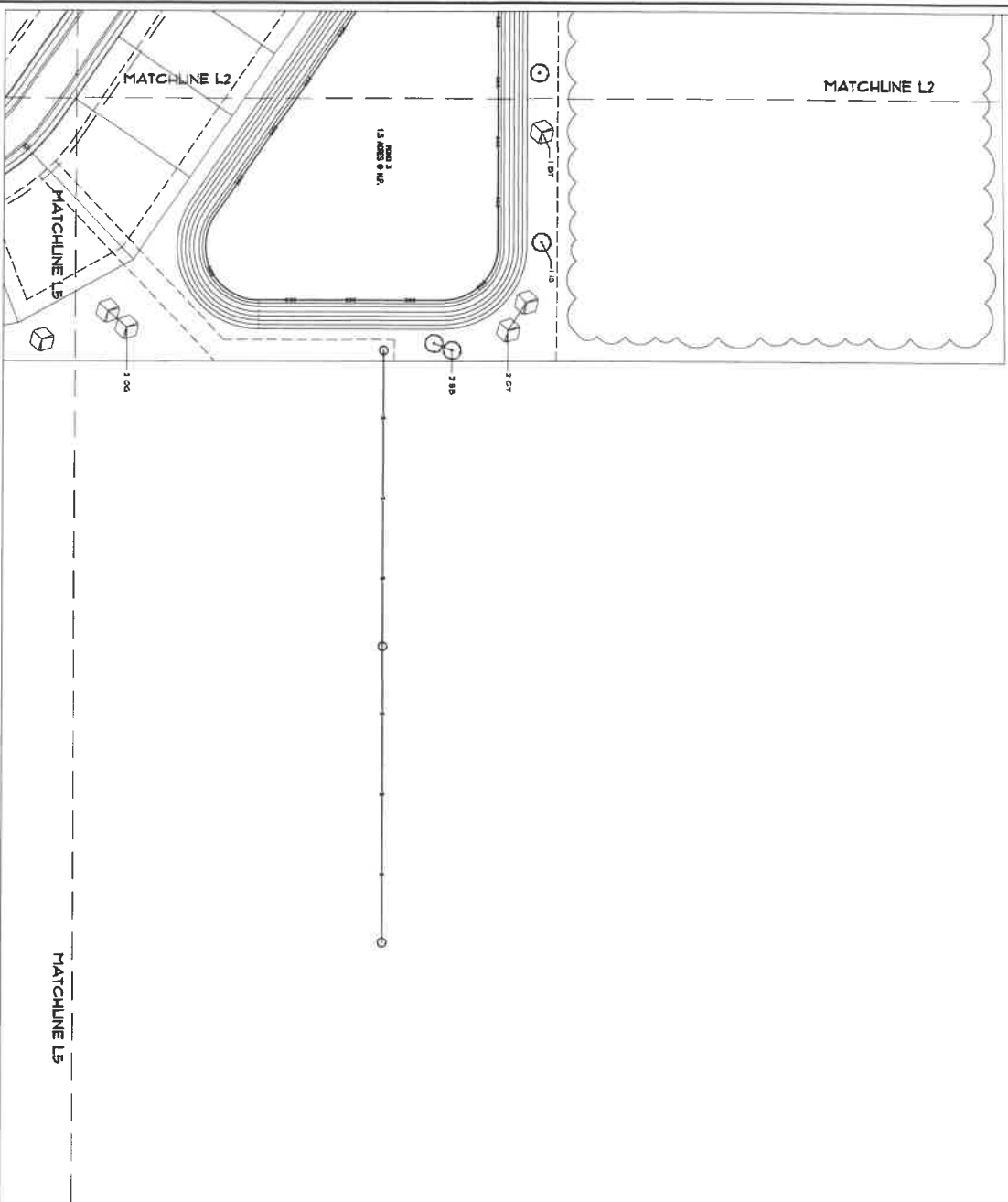
SHAPE TRIERS						
RT	INTERMEDIATE	DETAILED MODEL	16" SL	16		
CV	BALD CRYSTALS	TACONITE BENCHMAN	2-1/2"	18		
14	WATERFALL SANDSTON/SLABBER	WATERFALL RESERVATION	2-1/2"	20		
000	OCTOBER 00000 HARTE	ADAM 000000 000000	2-1/2"	22		
R0	RED OAK	GRAND OAK	2-1/2"	28		
K0	WHEAT OAK WHEAT OAK	LOOSE WHEAT TRIANGLE WHEAT OAK	2-1/2"	22		

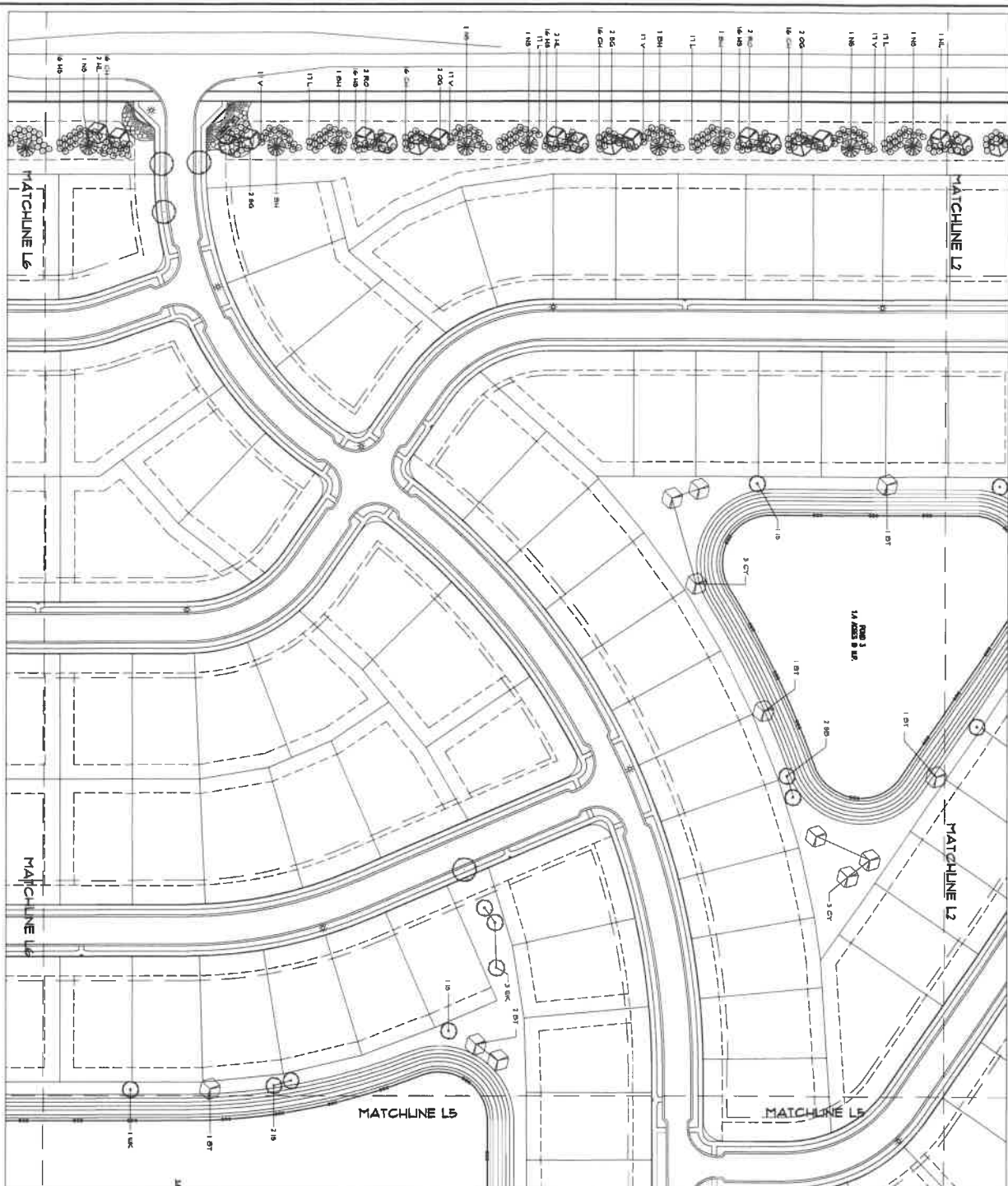
CONCRETE TREES					
	16	100% REC. LUM.	SPYRGA PTERIOLATA "WYCK" S.C.	140"	11
	50	RECONSTRUCTED LUMIN. PULVERIZED	ABRUSUS X DECAUDINATA ALBIFL. SMIL.	110"	14
	100	WATER WASH LUMIN.	CRATAEGUS VIRENS VIRENS KNOX	140"	15
EVERGREEN TREES					

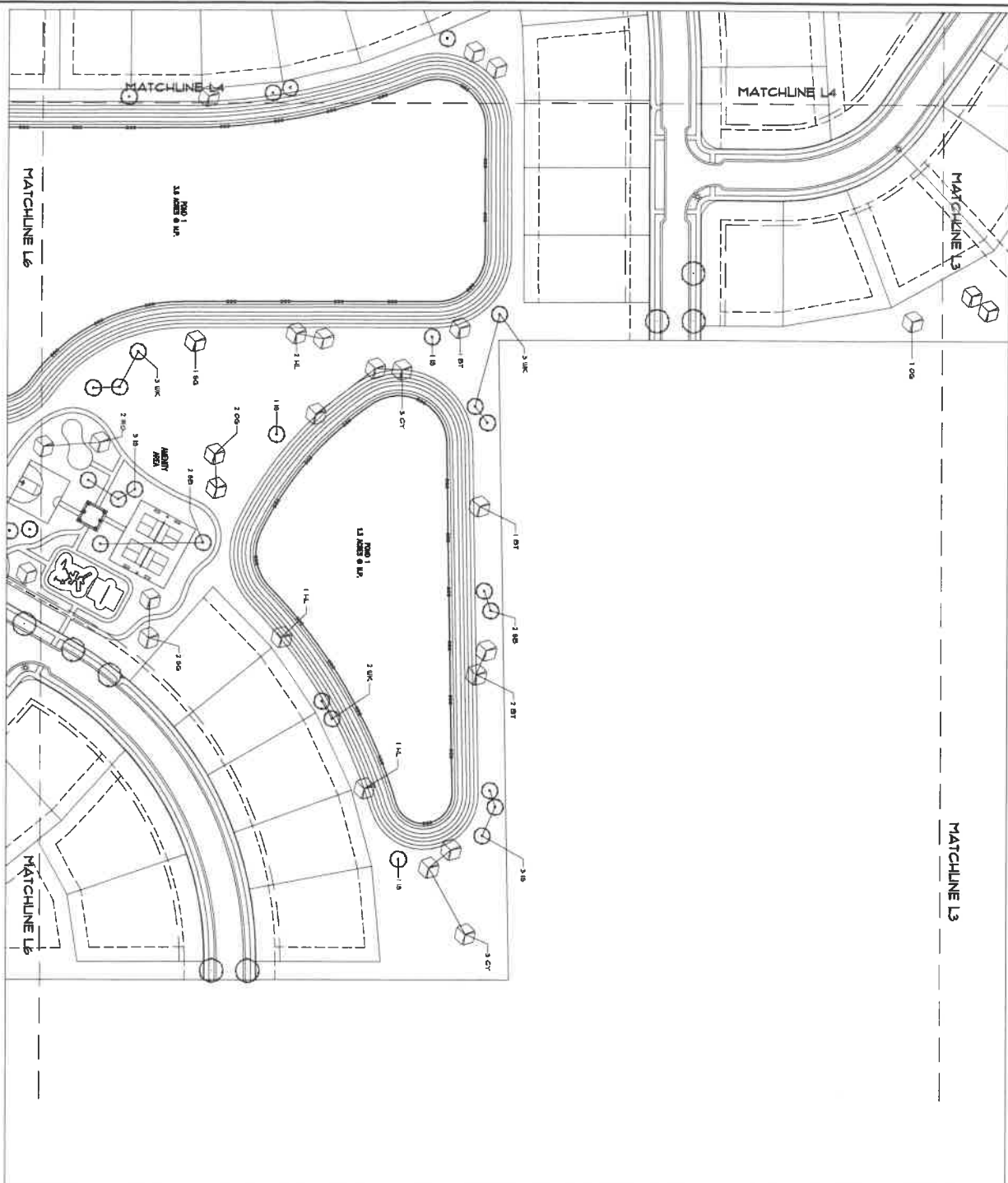
SHIRTS			
	POLO SHIRT	POLO SHIRT	6"
	POLO SHIRT	POLO SHIRT	6"
	POLO SHIRT	POLO SHIRT	6"
	POLO SHIRT	POLO SHIRT	6"
	POLO SHIRT	POLO SHIRT	6"
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	POLO SHIRT	POLO SHIRT	6"

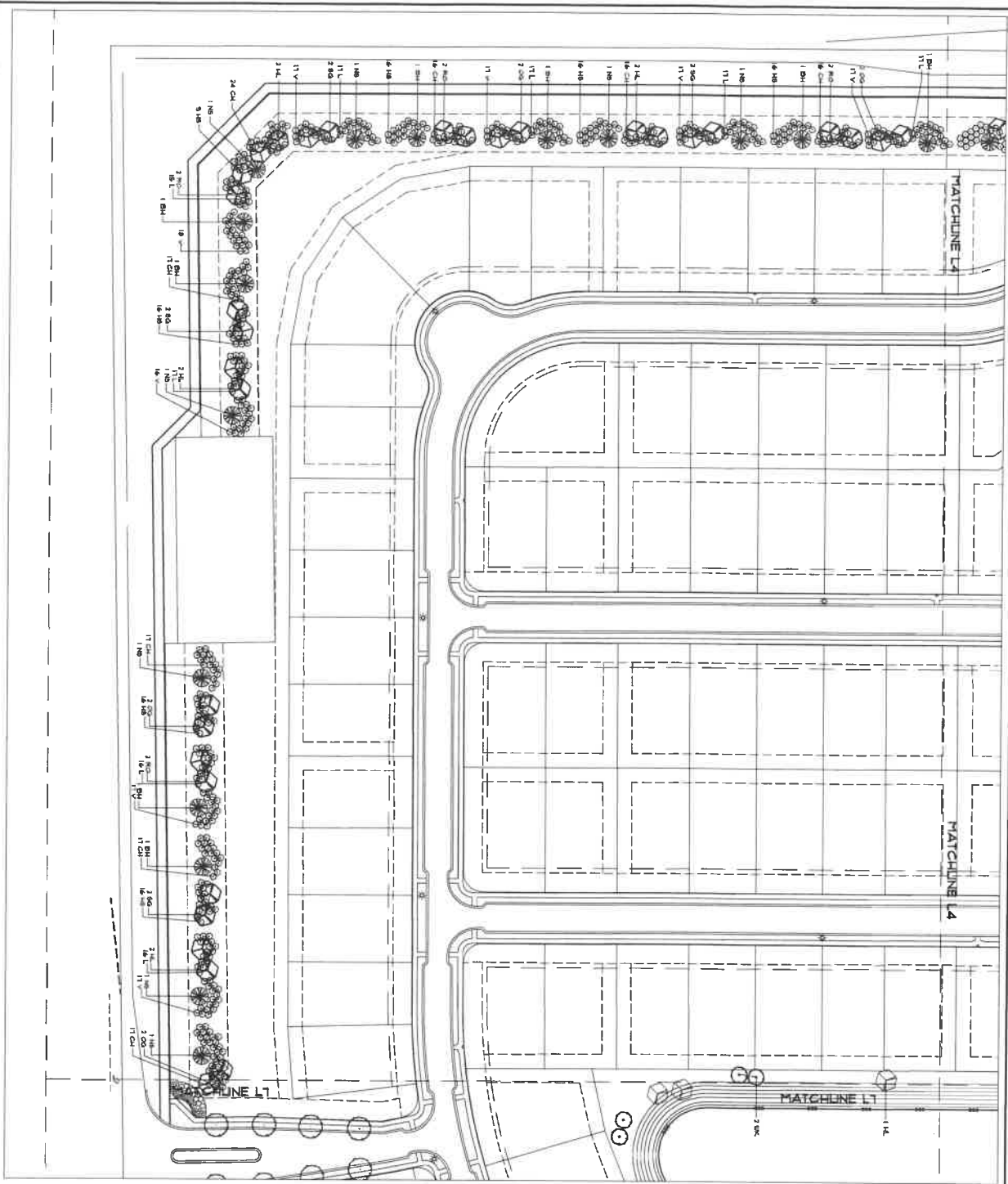
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☉	149	KODAK NORTHAMPTON	COCKEYBY X "KODAK"	24°	222
☉	1	COCKEYBY KODAK	COCKEYBY KODAK	24°	241
☉	2	COCKEYBY KODAK	COCKEYBY KODAK	24°	241
☉	3	COCKEYBY KODAK	COCKEYBY KODAK	24°	241

BURNED PLANTING RECOMMENDATIONS		REPLANTED	PLANTING
1. PROTECT PLANTS FROM FIRE	"SPECIAL FIRE-PROOFING"		
2. PROTECT PLANTS FROM INSECT PESTS	"SPECIAL INSECT-PROOFING"	43. 10000	43. 10000
3. PROTECT PLANTS FROM DISEASE	"SPECIAL DISEASE-PROOFING"	43. 10000	43. 10000
4. PROTECT PLANTS FROM WIND	"SPECIAL WIND-PROOFING"	43. 10000	43. 10000
5. PROTECT PLANTS FROM FLOODING	"SPECIAL FLOOD-PROOFING"	43. 10000	43. 10000
6. PROTECT PLANTS FROM DROUGHT	"SPECIAL DROUGHT-PROOFING"	43. 10000	43. 10000
7. PROTECT PLANTS FROM HAIL	"SPECIAL HAIL-PROOFING"	43. 10000	43. 10000
8. PROTECT PLANTS FROM LIGHTNING	"SPECIAL LIGHTNING-PROOFING"	43. 10000	43. 10000
9. PROTECT PLANTS FROM TORNADOES	"SPECIAL TORNADO-PROOFING"	43. 10000	43. 10000
10. PROTECT PLANTS FROM OTHER DISASTERS	"SPECIAL OTHER DISASTERS-PROOFING"	43. 10000	43. 10000

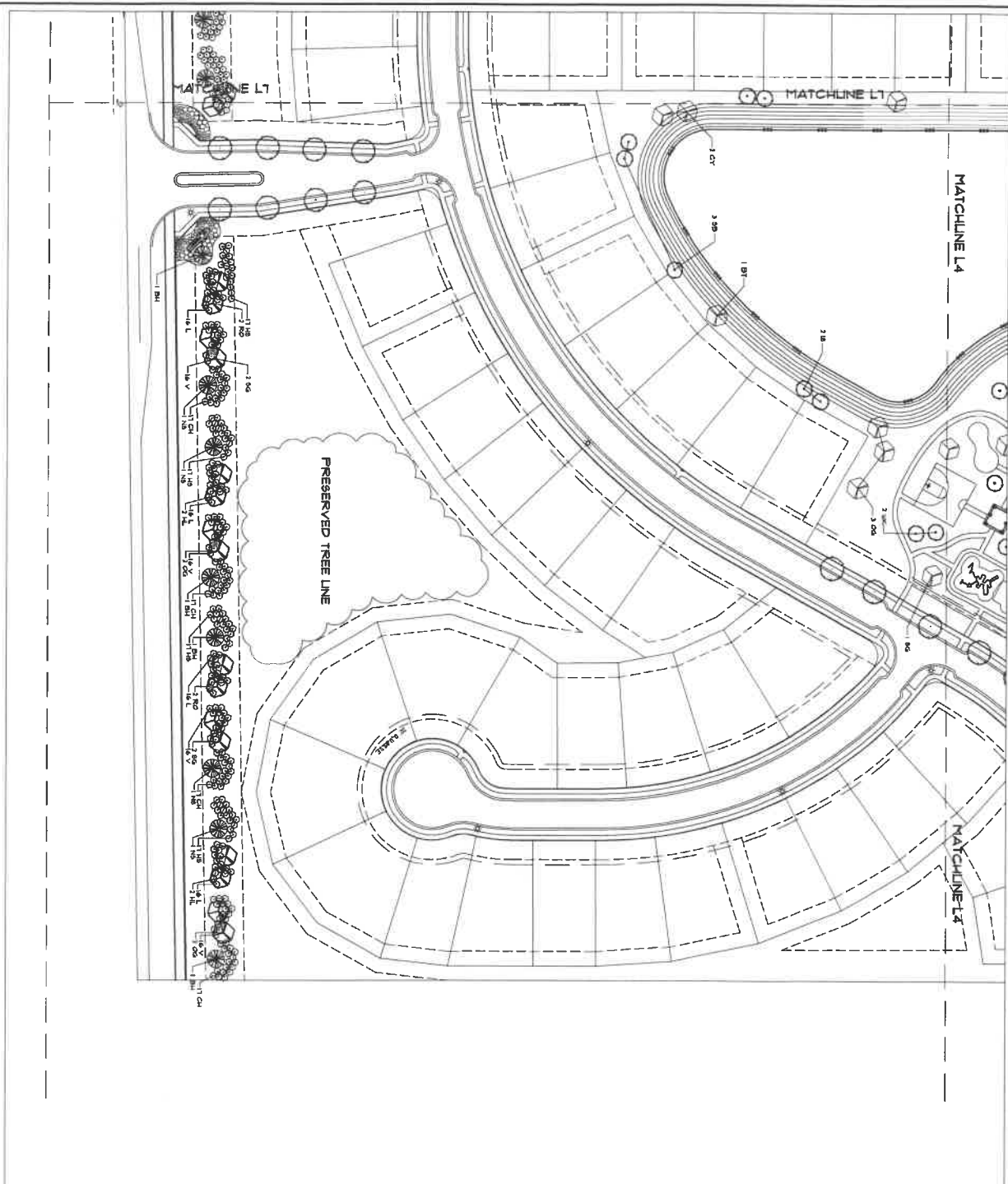
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








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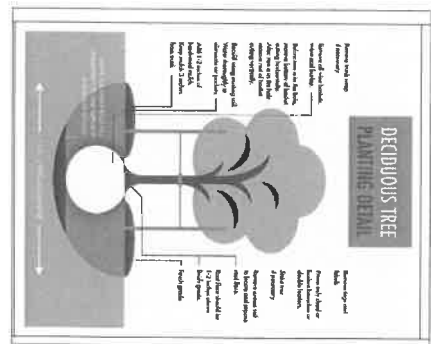
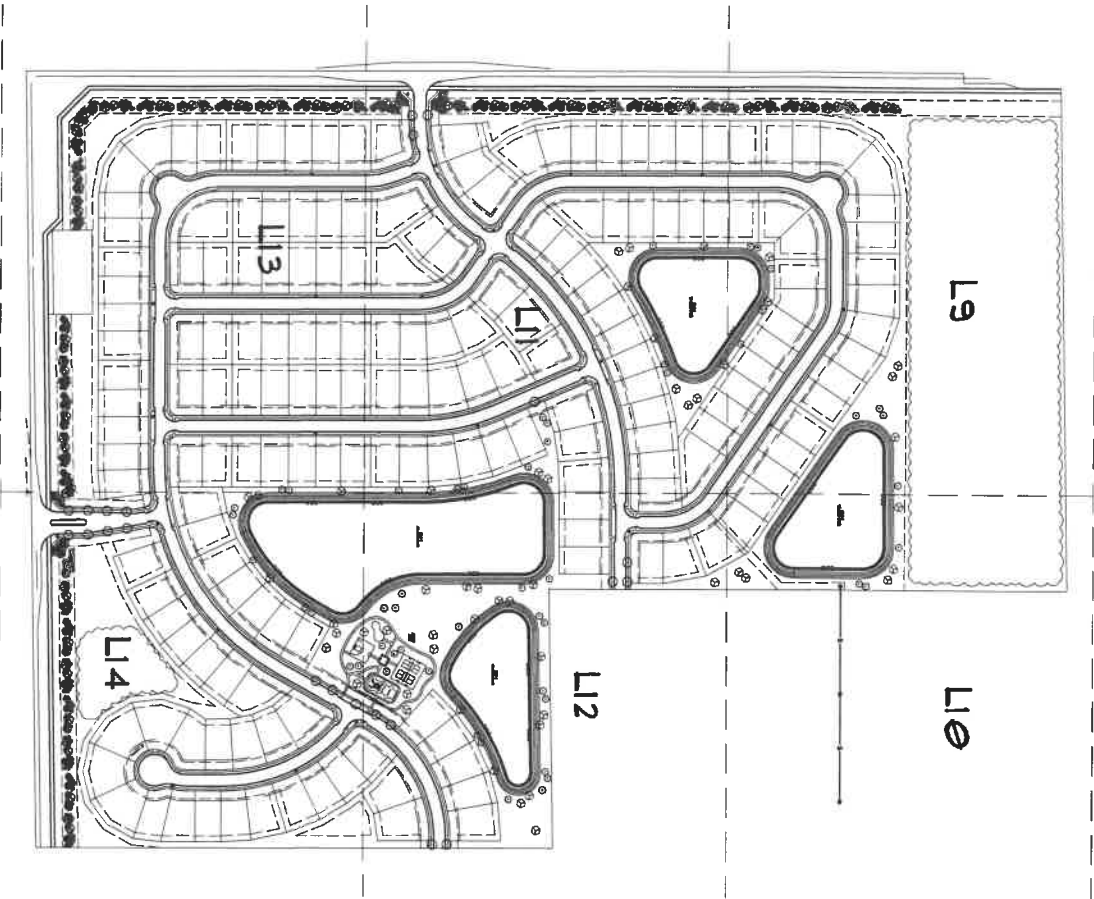
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PLANT SCHEDULE				
SYMBOL, QTY	COMMON NAME	SCIENTIFIC NAME	AGE	QUANTITY
SHADE TREES				
17	REDWOOD	SEWYALIA RUBRA	10' CL.	16
18	REDWOOD	SEWYALIA RUBRA	10' CL.	16
19	REDWOOD	SEWYALIA RUBRA	10' CL.	16
20	REDWOOD	SEWYALIA RUBRA	10' CL.	16
21	REDWOOD	SEWYALIA RUBRA	10' CL.	16
ORNAMENTAL TREES				
1	IVORY BELL FLAC	STYRALIA BELLIFLUA	1' CL.	17
2	IVORY BELL FLAC	STYRALIA BELLIFLUA	1' CL.	17
3	IVORY BELL FLAC	STYRALIA BELLIFLUA	1' CL.	17
4	IVORY BELL FLAC	STYRALIA BELLIFLUA	1' CL.	17
5	IVORY BELL FLAC	STYRALIA BELLIFLUA	1' CL.	17
EVERGREEN TREES				
6	BLACK HILL PINE	PICEA MARYLANDICA	6' CL.	18
7	BLACK HILL PINE	PICEA MARYLANDICA	6' CL.	18
8	BLACK HILL PINE	PICEA MARYLANDICA	6' CL.	18
9	BLACK HILL PINE	PICEA MARYLANDICA	6' CL.	18
10	BLACK HILL PINE	PICEA MARYLANDICA	6' CL.	18
SHRUBS				
11	REDWOOD	SEWYALIA RUBRA	10' CL.	16
12	REDWOOD	SEWYALIA RUBRA	10' CL.	16
13	REDWOOD	SEWYALIA RUBRA	10' CL.	16
14	REDWOOD	SEWYALIA RUBRA	10' CL.	16
15	REDWOOD	SEWYALIA RUBRA	10' CL.	16
16	REDWOOD	SEWYALIA RUBRA	10' CL.	16
17	REDWOOD	SEWYALIA RUBRA	10' CL.	16
18	REDWOOD	SEWYALIA RUBRA	10' CL.	16
19	REDWOOD	SEWYALIA RUBRA	10' CL.	16
20	REDWOOD	SEWYALIA RUBRA	10' CL.	16
21	REDWOOD	SEWYALIA RUBRA	10' CL.	16
22	REDWOOD	SEWYALIA RUBRA	10' CL.	16
23	REDWOOD	SEWYALIA RUBRA	10' CL.	16
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25	REDWOOD	SEWYALIA RUBRA	10' CL.	16
26	REDWOOD	SEWYALIA RUBRA	10' CL.	16
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30	REDWOOD	SEWYALIA RUBRA	10' CL.	16
31	REDWOOD	SEWYALIA RUBRA	10' CL.	16
32	REDWOOD	SEWYALIA RUBRA	10' CL.	16
33	REDWOOD	SEWYALIA RUBRA	10' CL.	16
34	REDWOOD	SEWYALIA RUBRA	10' CL.	16
35	REDWOOD	SEWYALIA RUBRA	10' CL.	16
36	REDWOOD	SEWYALIA RUBRA	10' CL.	16
37	REDWOOD	SEWYALIA RUBRA	10' CL.	16
38	REDWOOD	SEWYALIA RUBRA	10' CL.	16
39	REDWOOD	SEWYALIA RUBRA	10' CL.	16
40	REDWOOD	SEWYALIA RUBRA	10' CL.	16
41	REDWOOD	SEWYALIA RUBRA	10' CL.	16
42	REDWOOD	SEWYALIA RUBRA	10' CL.	16
43	REDWOOD	SEWYALIA RUBRA	10' CL.	16
44	REDWOOD	SEWYALIA RUBRA	10' CL.	16
45	REDWOOD	SEWYALIA RUBRA	10' CL.	16
46	REDWOOD	SEWYALIA RUBRA	10' CL.	16
47	REDWOOD	SEWYALIA RUBRA	10' CL.	16
48	REDWOOD	SEWYALIA RUBRA	10' CL.	16
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52	REDWOOD	SEWYALIA RUBRA	10' CL.	16
53	REDWOOD	SEWYALIA RUBRA	10' CL.	16
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56	REDWOOD	SEWYALIA RUBRA	10' CL.	16
57	REDWOOD	SEWYALIA RUBRA	10' CL.	16
58	REDWOOD	SEWYALIA RUBRA	10' CL.	16
59	REDWOOD	SEWYALIA RUBRA	10' CL.	16
60	REDWOOD	SEWYALIA RUBRA	10' CL.	16
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64	REDWOOD	SEWYALIA RUBRA	10' CL.	16
65	REDWOOD	SEWYALIA RUBRA	10' CL.	16
66	REDWOOD	SEWYALIA RUBRA	10' CL.	16
67	REDWOOD	SEWYALIA RUBRA	10' CL.	16
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73	REDWOOD	SEWYALIA RUBRA	10' CL.	16
74	REDWOOD	SEWYALIA RUBRA	10' CL.	16
75	REDWOOD	SEWYALIA RUBRA	10' CL.	16
76	REDWOOD	SEWYALIA RUBRA	10' CL.	16
77	REDWOOD	SEWYALIA RUBRA	10' CL.	16
78	REDWOOD	SEWYALIA RUBRA	10' CL.	16
79	REDWOOD	SEWYALIA RUBRA	10' CL.	16
80	REDWOOD	SEWYALIA RUBRA	10' CL.	16
81	REDWOOD	SEWYALIA RUBRA	10' CL.	16
82	REDWOOD	SEWYALIA RUBRA	10' CL.	16
83	REDWOOD	SEWYALIA RUBRA	10' CL.	16
84	REDWOOD	SEWYALIA RUBRA	10' CL.	16
85	REDWOOD	SEWYALIA RUBRA	10' CL.	16
86	REDWOOD	SEWYALIA RUBRA	10' CL.	16
87	REDWOOD	SEWYALIA RUBRA	10' CL.	16
88	REDWOOD	SEWYALIA RUBRA	10' CL.	16
89	REDWOOD	SEWYALIA RUBRA	10' CL.	16
90	REDWOOD	SEWYALIA RUBRA	10' CL.	16
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98	REDWOOD	SEWYALIA RUBRA	10' CL.	16
99	REDWOOD	SEWYALIA RUBRA	10' CL.	16
100	REDWOOD	SEWYALIA RUBRA	10' CL.	16



PLANT SCHEDULE					
SYMBOL	KEY	CROWN TYPE	SCIENTIFIC NAME	QTY	QTY UNIT
SHADE TREES					
	BT	HYPERICUM	MYRTA ROSEA	10	QTY
	CT	BALD CYPRESS	TAXODIUM DISTICHUM	10	QTY
	HL	WINTERGREEN	QUERCUS IMBRICATA	10	QTY
	GO	DOUGLAS FIR	ABIES MILLENA	10	QTY
	RO	RED OAK	QUERCUS ROSEA	10	QTY
	BO	DOUGLAS FIR	LIQUIDAMBAR STYRACIUM	10	QTY
ORNAMENTAL TREES					
	B	10-YR B&L LILAC	SYRINGTONA	10	QTY
	MO	SPRINGGREEN YUCCA	AGAVE MILLENA	10	QTY
	BC	WINTER BURN LAMARCK	CESTRUM VIRENS	10	QTY
EVERGREEN TREES					
	BU	BLACK B&L SPICE	PICEA GUAYANA	10	QTY
	NS	NOBILIS SPICE	PICEA ABIES	10	QTY
SHRUBS					
	CH	IMMORTAL B&B	ARTEMISA AMERICANA	10	QTY
	SB	NOBILIS SPICE	CESTRUM VIRENS	10	QTY
	L	DOUGLAS FIR	SYRINGTONA VIRENS	10	QTY
	V	LEARNEDLY VIRENS	VERBENA VIRENS	10	QTY
GRASS PLANTING SPECIFICATIONS					
NOBILIS B&B 10-YR		CESTRUM VIRENS		NOBILIS	
DOUGLAS FIR 10-YR		ARTEMISA AMERICANA		DOUGLAS FIR	
WINTER BURN 10-YR		CESTRUM VIRENS		WINTER BURN	
BLACK B&L 10-YR		PICEA GUAYANA		BLACK B&L	
DOUGLAS FIR 10-YR		SYRINGTONA VIRENS		DOUGLAS FIR	
WINTER BURN 10-YR		CESTRUM VIRENS		WINTER BURN	
BLACK B&L 10-YR		PICEA GUAYANA		BLACK B&L	
DOUGLAS FIR 10-YR		SYRINGTONA VIRENS		DOUGLAS FIR	
WINTER BURN 10-YR		CESTRUM VIRENS		WINTER BURN	
BLACK B&L 10-YR		PICEA GUAYANA		BLACK B&L	
DOUGLAS FIR 10-YR		SYRINGTONA VIRENS		DOUGLAS FIR	
WINTER BURN 10-YR		CESTRUM VIRENS		WINTER BURN	
BLACK B&L 10-YR		PICEA GUAYANA		BLACK B&L	
DOUGLAS FIR 10-YR		SYRINGTONA VIRENS		DOUGLAS FIR	
WINTER BURN 10-YR		CESTRUM VIRENS		WINTER BURN	
BLACK B&L 10-YR		PICEA GUAYANA		BLACK B&L	
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DOUGLAS FIR 10-YR		SYRINGTONA VIRENS		DOUGLAS FIR	
WINTER BURN 10-YR		CESTRUM VIRENS		WINTER BURN	
BLACK B&L 10-YR		PICEA GUAYANA		BLACK B&L	
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DOUGLAS FIR 10-YR		SYRINGTONA VIRENS		DOUGLAS FIR	
WINTER BURN 10-YR		CESTRUM VIRENS		W	



PLANT SCHEDULE - STREET TREES					
SYMBOL	HEIGHT	CROWN NAME	SCHEMATIC NAME	SIZE	QUANTITY
SHADE TREES - 1 PER 50' SPACING APPLICABLE					
PM	12'	MODERN MODERN PLANT	ACORN GRANDGRAND PLANT	2-1/2"	5
PM	12'	PERFORATED PLANT	ACORN GRANDGRAND PLANT	2-1/2"	5
PM	12'	MODERN MODERN PLANT	ACORN GRANDGRAND PLANT	2-1/2"	5
PM	12'	MODERN MODERN PLANT	ACORN GRANDGRAND PLANT	2-1/2"	5
PM	12'	MODERN MODERN PLANT	ACORN GRANDGRAND PLANT	2-1/2"	5
PM	12'	MODERN MODERN PLANT	ACORN GRANDGRAND PLANT	2-1/2"	5

NOT TO SCALE

NORTH



PLANT SCHEDULE - STREET TREES						
SYMBOL	IDENT	CROWN TYPE	PLANT NAME	SCIENTIFIC NAME	SIZE	QUANTITY PLANTED
			SHADE TREES - 1" DBH @ 4.0 FEET @ 10' SPACING			
●	T01	ROUNDER	INDIAN ALBIZIA	ALBIZIA LEONARDIANA	3'-10"	5
○	PM	FLAT-TOPPED	SHADE	ACACIA	3'-10"	4
○	OV	WIDE SPREAD	SHADE	ACACIA	3'-10"	4
○	TP	DATE PALM	DATE PALM	DATE PALM	3'-10"	5

Decor to finish

2275 South 500 East
Westmont, IN 46075
317-291-0444 fax: 317-291-0445
email: westmont@att.net
web: westmontsportscenter.com



IN HONOR
OF THE 100TH BIRTHDAY OF
THE
FEDERAL BUREAU OF INVESTIGATION

PROJECT NAME

BENDING BRANCH

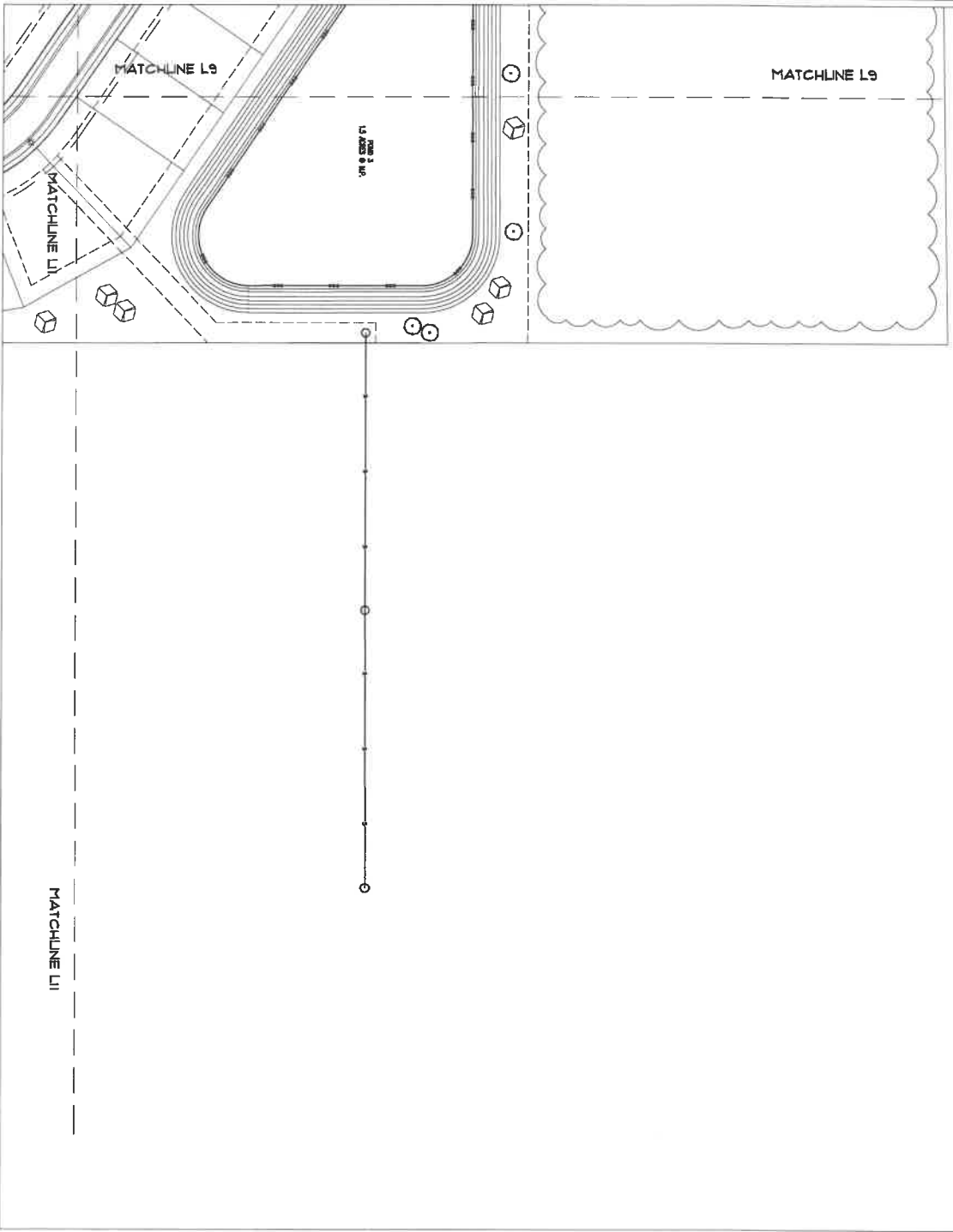
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SHEET NAME

STREET TREE PLAN

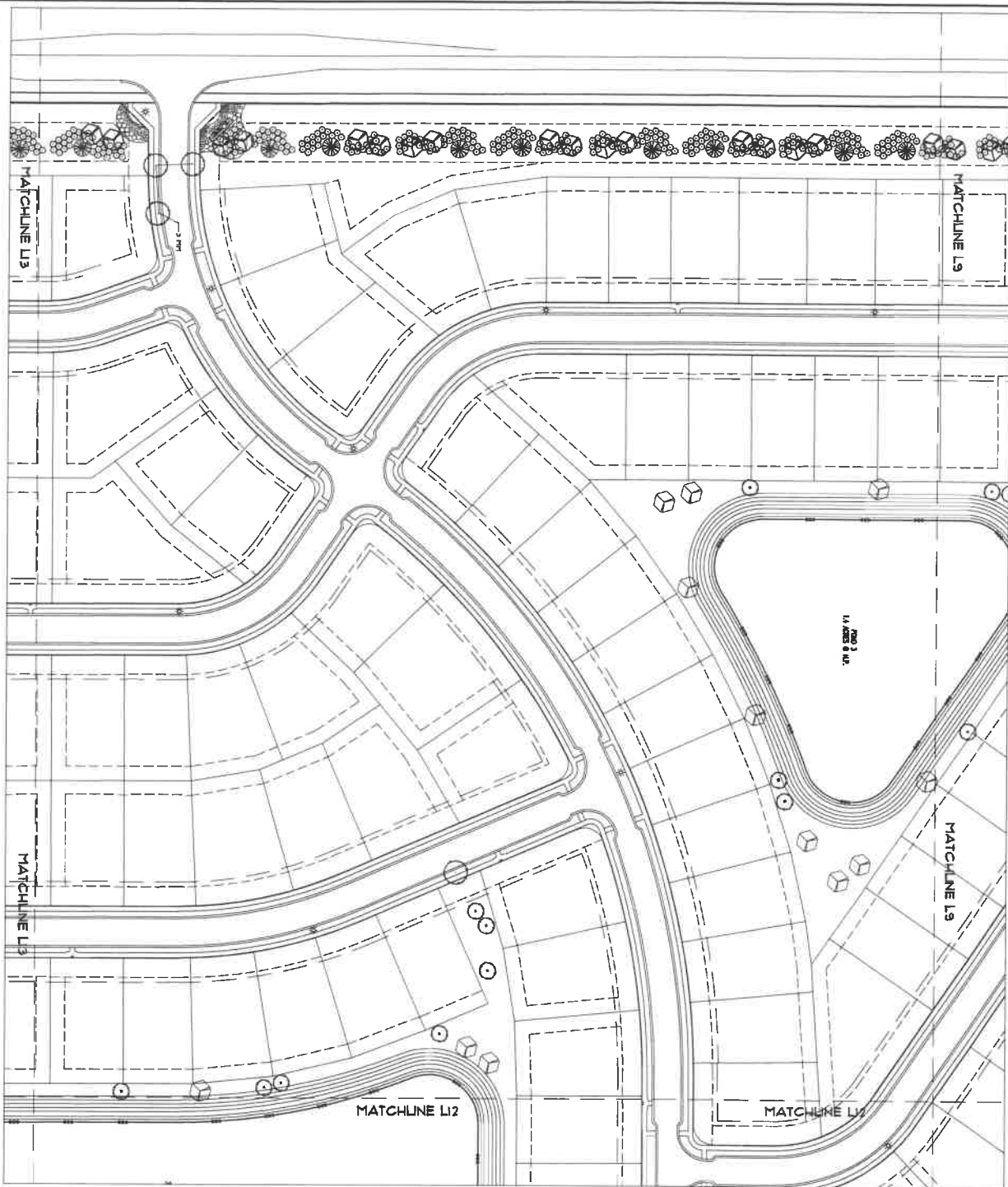
DESIGNER
THOMAS FELLEGY, PLA
DATE: MAY 23, 2025

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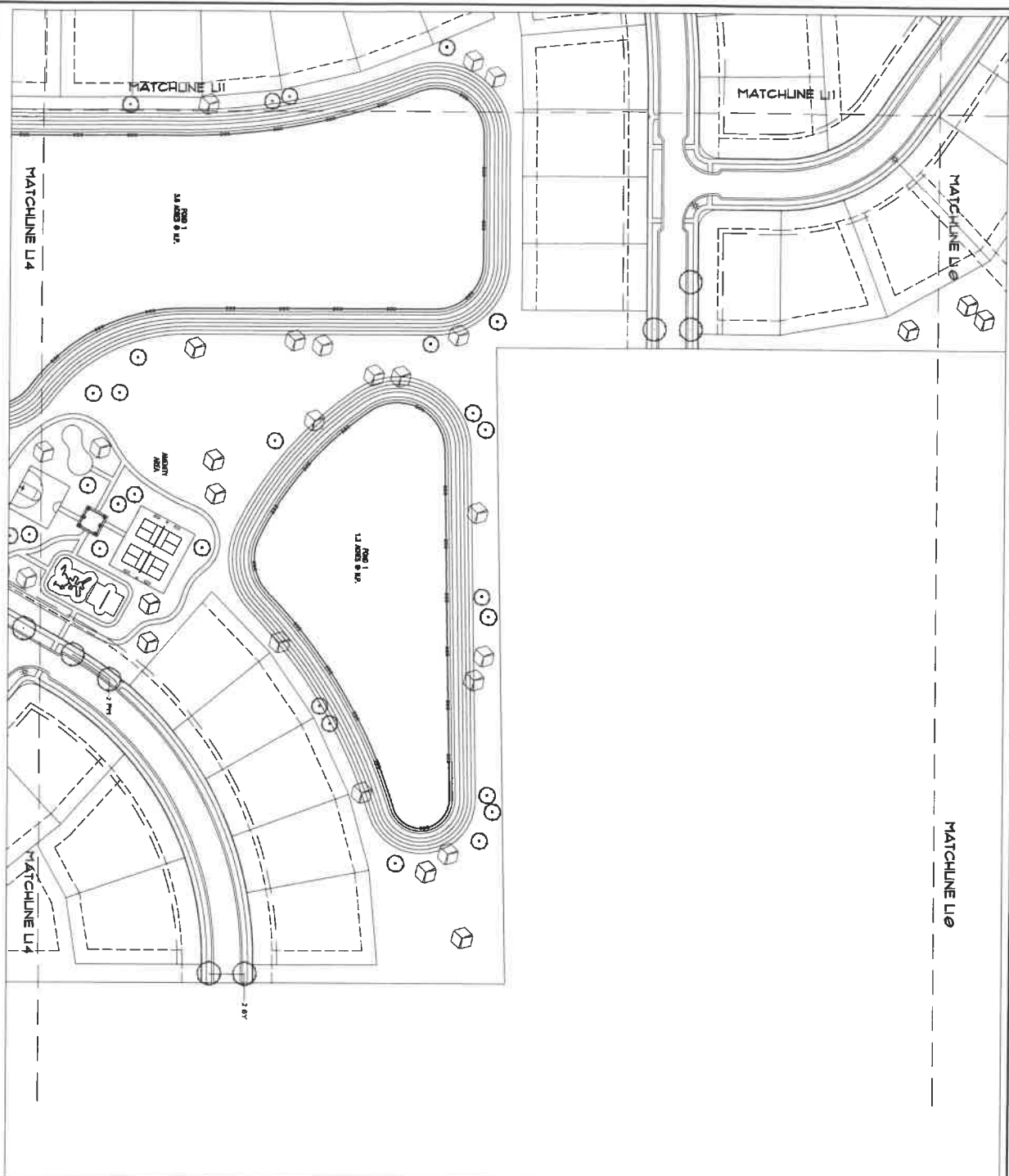


PLANT SCHEDULE - STREET TREES									
SYMBOL	REF	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	NOTES	PLANTING	PLANTING	PLANTING
SHADE TREES - 1 PER 30' WHERE APPLICABLE									
1	1	ROCKY MOUNTAIN MAPLE	ACER ROEMERI	2-1/2"	5				
2	2	PAPERBARK MAPLE	ACER GLABER	2-1/2"	4				
3	3	WINTER BUCKLE	STYMAIA REGINALDIA VARY	2-1/2"	4				
4	4	GRAY DOGWOOD	QUERCUS GRAY	2-1/2"	2				





PLANT SCHEDULE - STREET TREES									
SYMBOL	LET	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	PLANTING DATE	PLANTING METHOD	PLANTING LOCATION	PLANTING NOTES
1	PI	ROCKY MOUNTAIN MAPLE	ACHER GLABERRIMA	2-1/2"	3	5	5	5	5
2	PI	PALESHIRE MAPLE	ACHER GLABERRIMA	2-1/2"	4	6	6	6	6
3	PI	WINTER MAPLE	ACHER GLABERRIMA	2-1/2"	4	6	6	6	6
4	PI	DAWN REDWOOD	SEKOIJA PLATANIFOLIA	2-1/2"	3	5	5	5	5



MATCHLINE L0

PLANT SCHEDULE - STREET TREES									
SYMBOL	INCH	COTTON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	REMARKS	PLANTING	DATE	BY
1	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				
2	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				
3	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				
4	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				
5	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				
6	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				
7	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				
8	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				
9	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				
10	12"	SHADE TREES - 1 PER 50' WIDE APPLICABLE	ACER GRACILIFOLIUM	2-1/2"	5				

MI HOMES

LANDSCAPING

10000 N. MIAMI AVE. SUITE 100
MIAMI, FL 33151
TEL: 305.555.1234
WWW.MIHOMESLANDSCAPING.COM

PROJECT NAME
BENDING BRANCH

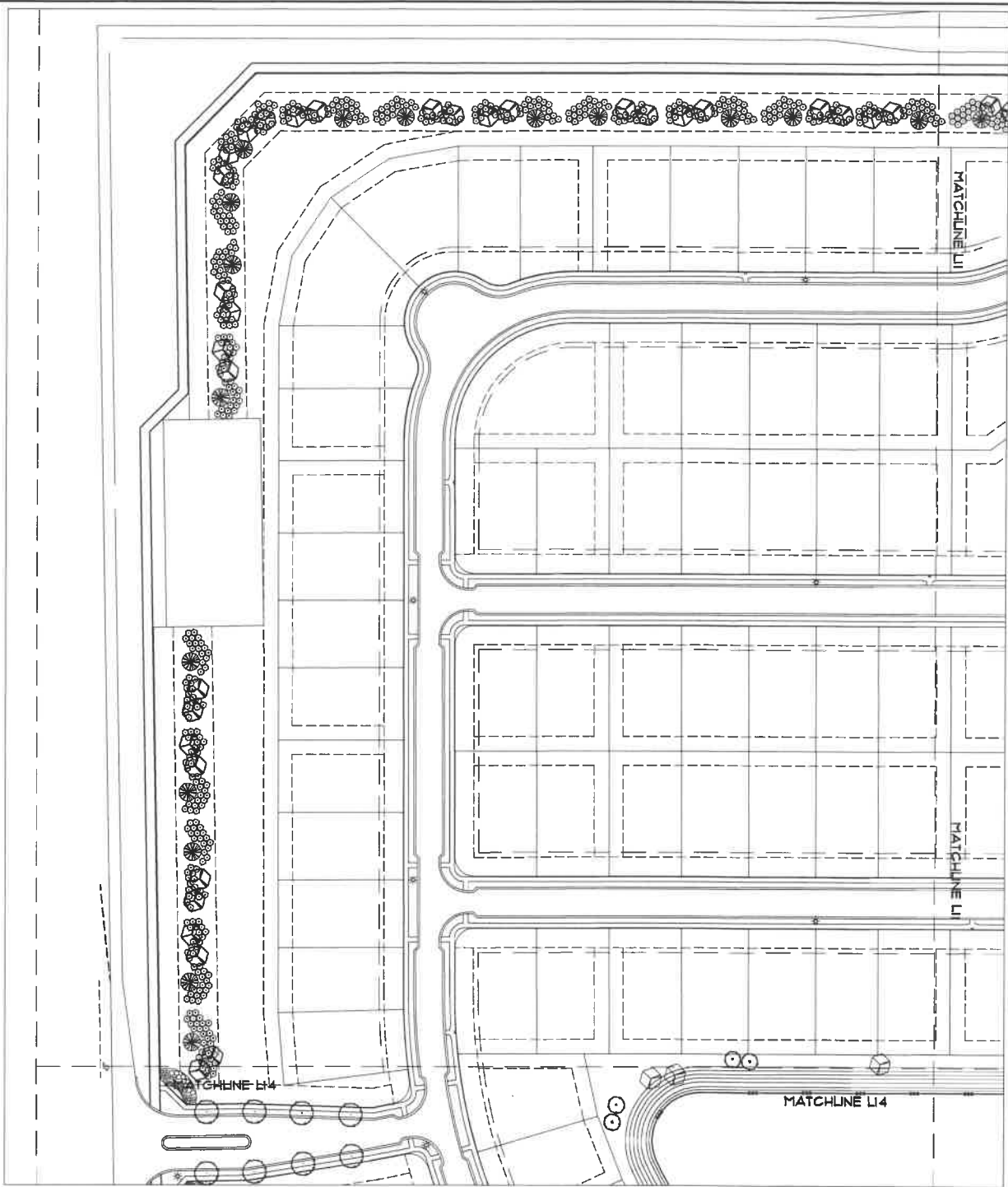
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SHEET NAME
STREET TREE PLAN

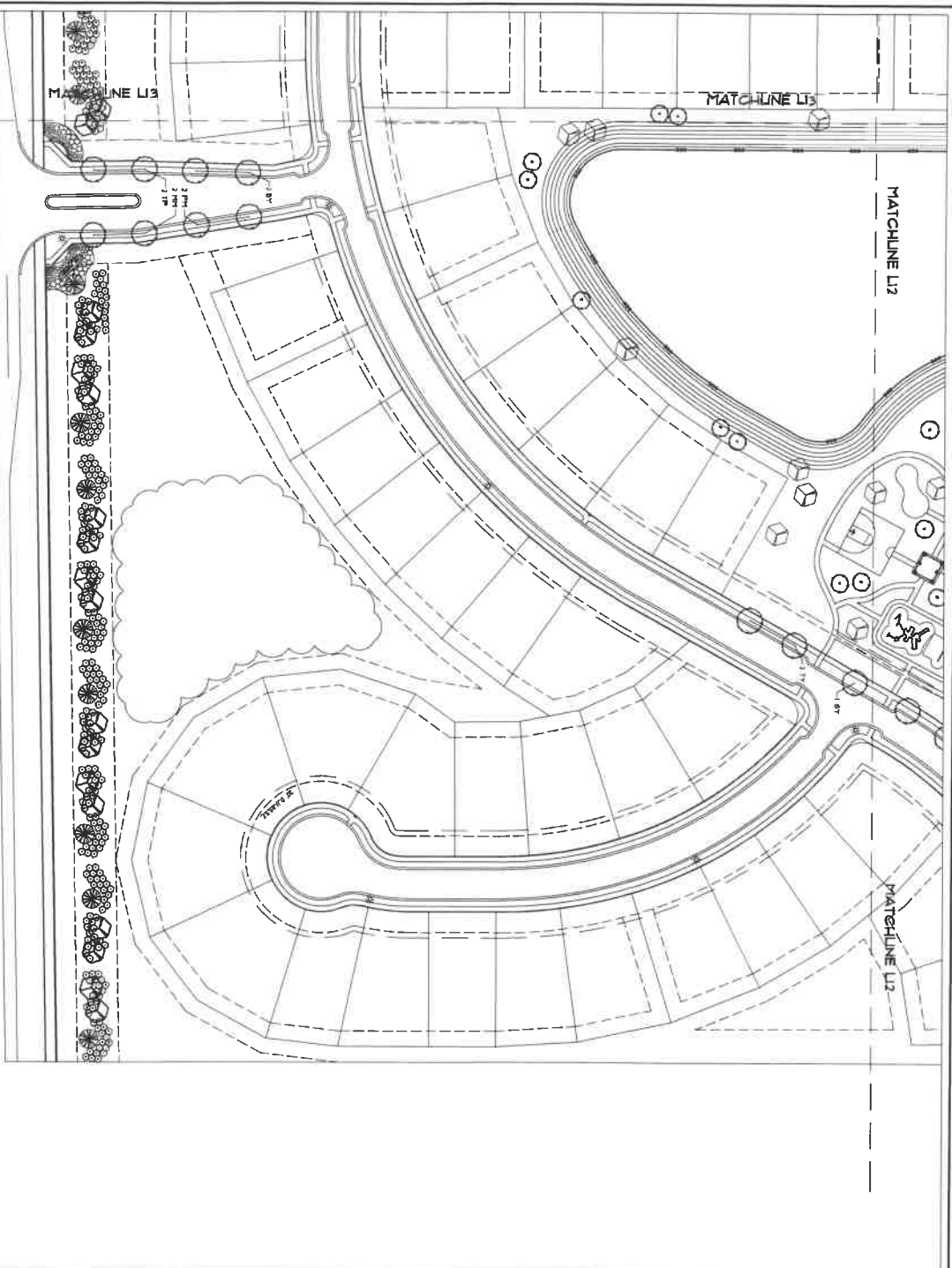
DESIGNER
THOMAS PELLEGY, PLA

DATE: MAY 23, 2025

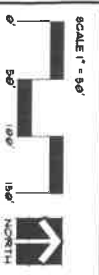
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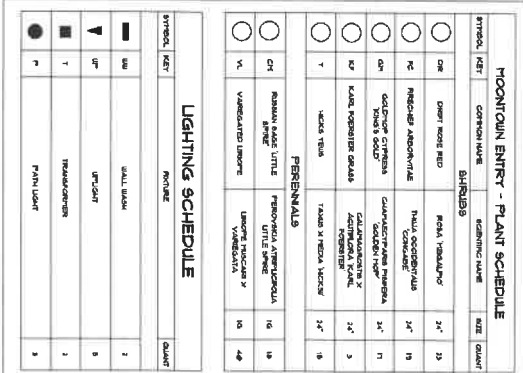
PLANT SCHEDULE - STREET TREES									
SYMBOL	LETTER	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY	REMARKS	DATE	BY	CHKD
●	PM	ROCKY MOUNTAIN MAPLE	ACER GLABERRIMUS	12"	5				
○	PH	PAURISHAW HUNTER	ACER GLABERRIMUS	12"	4				
○	SV	WINTER WHITE LILAC	SYRIALIA RETICULATA VARIETY	12"	4				
○	TP	DAIRY DROP TURNED	SYRIALIA RETICULATA VARIETY	12"	1				



PLANT SCHEDULE - STREET TREES					
SYMBOL	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY
SHADE TREES - 1 PER 30' LINEAR APPLICATION					
○	TM	ROCKY MOUNTAIN MAPLE	ACER GRANDIDENTATUM	24" T	8
○	PM	PAURMANIAN YUCCA	ACER GRANDIDENTATUM	24" T	4
○	BY	YUCCA GLAUCOA	YUCCA GLAUCOA	24" T	4
○	TM	GRANITE MAPLE	YUCCA GLAUCOA	24" T	4



1987 ENTRY - PLANT SCHEDULE									
OPTION	LEFT	CORNER WARE	POURING WARE	NOB	GLASS				
SHIRAZIS									
<input type="radio"/>	DM	DRIFT ROAD ROSE	NOVA, VESPA, JURY	24"	23				
<input type="radio"/>	PC	WINDSOR, AMBERGIAN	THALL, COGNAC	24"	19				
<input type="radio"/>	GM	OLD FASHION, CHERRY ROSE, WINDSOR	OLD FASHION, PINEAPPLE CHERRY, WINDSOR	24"	18				
<input type="radio"/>	GP	KALE, CHERISH, GARDEN	ADRIAN, KALE, FERNET-BRANCA	24"	5				
<input type="radio"/>	V	MCA, TINA	TINA, V. TINA, WINDSOR	24"	15				
PENNYLAN									
<input type="radio"/>	GM	ROMAN LANE, TINA SAND	FRANCE, AMBERGIAN, TINA, PINE	15	14				
<input type="radio"/>	V.	WINDSOR, JURY	WINDSOR, JURY, VANDERBILT	15	28				
LIGHTING SCHEDULE									
ARTIST	LEFT	RIGHT	NOB	GLASS					
	WU	WALL LIGHT		2					
	UP	UPRIGIT		4					
	T	TALLSPOON		2					
	P	PLATE LIGHT		3					



DESIGNER
THOMAS FELLEGY, PLA

DATE: MAY 23, 2020

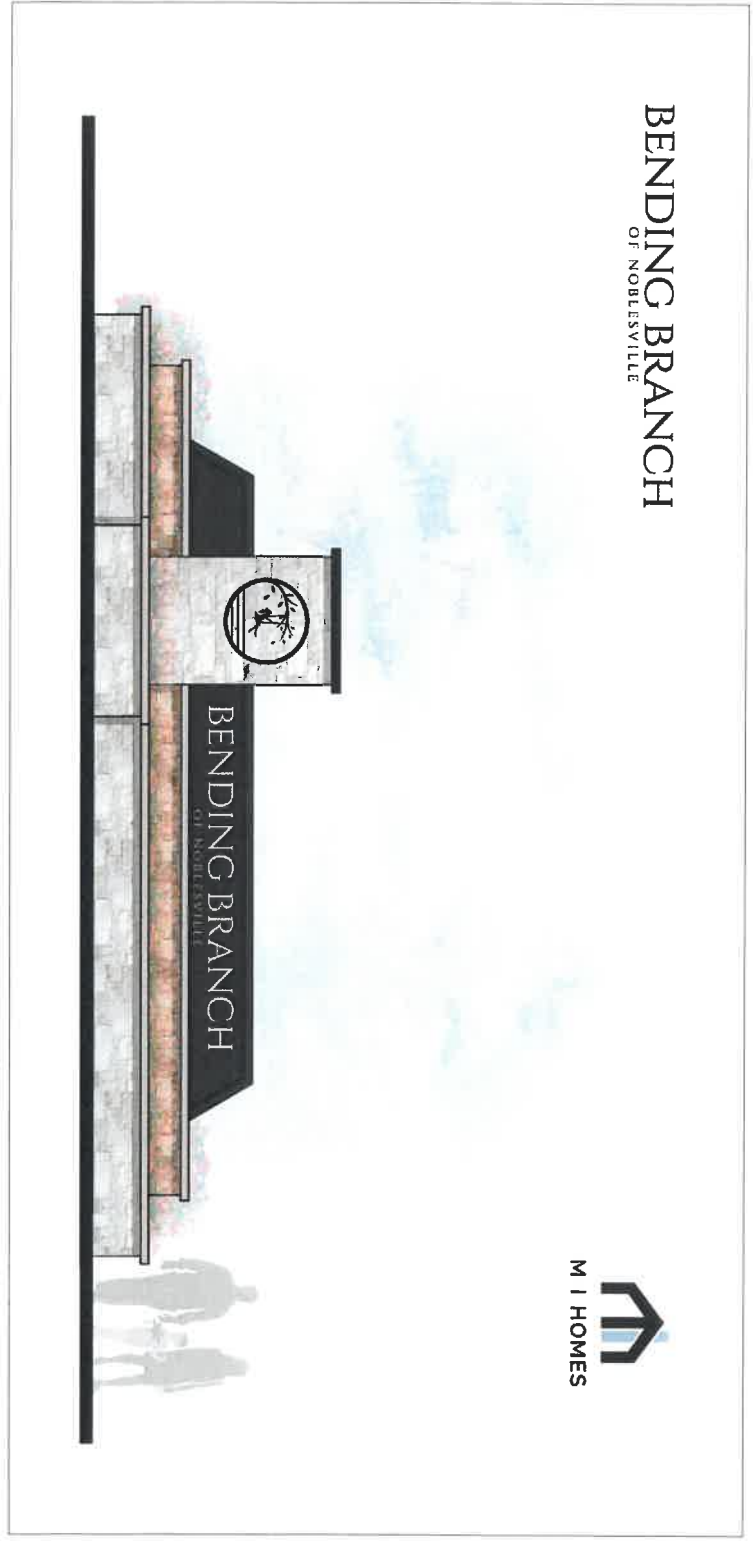
PROJECT NAME
BENDING BRANCH
NOBLESVILLE IN

What is Organic Landscaping?

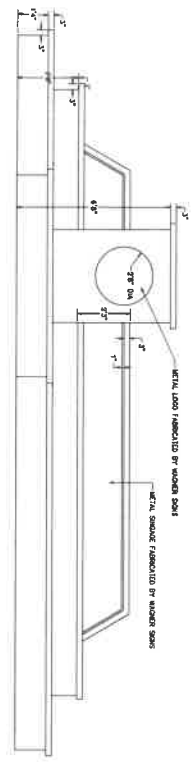


3375 South 300 West
Windsor, RI 02890
Tel: 401-885-1447
Fax: 401-885-1448
www.organiclandscaping.com

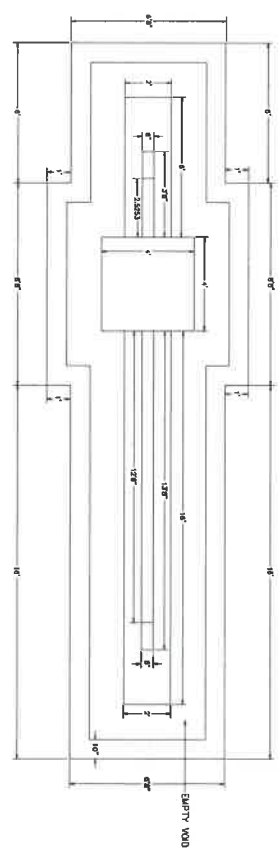
BENDING BRANCH OF NOBLESVILLE



FRONT ELEVATION



PLAN VIEW VENEER



SCALE 1/8" = 1'
0' 3' 6' 9' 12' 15' 18' 21' 24' NORTH

EXHIBIT C
ARCHITECTURAL STANDARDS

(Page 1 of 2)

Architectural Standards – Bending Branch			
General/ Miscellaneous	Floor Area/Dwelling Unit (Minimum)	One-Story	1,800 sf
		Two-Story	2,000 sf
	Building Height (Maximum)		35 feet
	Corner Breaks (Minimum)	Primary Architectural Plane	Ranch = 3 two-story = 4
		Secondary Architectural Plane	2
	Porch (does not apply to covered stoop/entryway, that is not a porch)	Required	Not required
		Area (Minimum)	Not applicable, 6' in depth when provided
Materials	Masonry Percentage (Minimum)	Primary Architectural Plane	15%
		Secondary Architectural Plane	Not applicable
	Approved Materials	Fiber Cement Board	Permitted
		Masonry	Permitted
		Wood	Permitted
		Chimneys: Direct vent – non-masonry	Permitted
		Vinyl and Aluminum siding	Not permitted
		Soffits and Rake Boards Vinyl or aluminum	Permitted
Roof	Roof Pitch (Minimum)	Primary Ridge unless architecture style suggests less.	6/12
	*Roof Ridgelines (Minimum)	One-Story	3
		Two-Story	3
	Roof Overhang (Minimum)	All Architectural Planes – from framing	12 inches
	Allowable Vent Location (Roof)	Primary Architectural Plane	Yes
		Secondary Architectural Plane	Yes
Windows	Window Size (Minimum)	Standard Window	7 sf
		Accent Window (accent windows adding to 8 SF equals 1 window)	4 sf
	**Number of Windows (Minimum)	Primary Architectural Plane	Ranch = 3 2-story = 3
		Secondary Architectural Plane	Ranch = 2 2-story = 2
		Total Aggregate (doors count as windows)	Ranch = 10 2-story = 14
	Window Treatment Required	Primary Architectural Plane	Yes
		Secondary Architectural Plane	Yes
Garage	***Garage Location	Primary Architectural Plane	Permitted
		Primary Architectural Plane (Corner Lot)	Permitted

		Secondary Architectural Plane	Permitted
	Garage Door Percentage, Primary Architectural	One-Story	50%
		Two-Story	50%
	****Garage Windows Required		Yes

Applicable Footnotes:

- (1) Window Treatment includes shutters, wood trim wrap, or brick detail surround.
- (2) Ridge vent not included in restricted vent type on primary architectural plane.
- (3) The minimum overhang shall be measured from framing and shall be 8" in masonry areas.
- (4) A group of accent windows with an aggregate window size greater than 8 SF count as a window.
- (5) Corner break projections shall be a minimum of 2 feet in depth from the architectural plane which it is attached on both sides of the dwelling.
- (6) For 3-car garages the maximum percentage shall not include the 3rd car garage.

* Roof Ridge Line: A 2-story home shall require (i) 3 ridge lines and a 1st floor roof element with a minimum 2-foot projection or (ii) 4 ridge lines. Prairie style homes may have a lower roof pitch and fewer roof lines.

** Sliding glass doors and French doors including a window shall count as windows. Doors without a window shall not count.

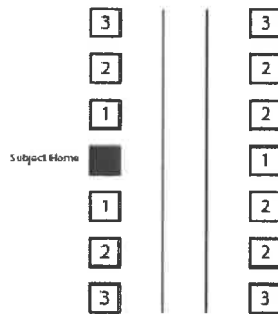
*** Garage Doors shall not face haze

**** Garage windows are required but do not otherwise count toward the required number of windows.

EXHIBIT C
ARCHITECTURAL STANDARDS

(Page 3 of 3)

- Façade Variety Standards:
 - The following Façade Variety Standards shall apply to ensure variations in home elevations and in the overall streetscape for single-family dwellings:



- 1** Homes shall be a different floor plan or model than subject home. At the time of the issuance of the Certificate of Occupancy, homes shall have a different primary siding color and at least one of the other three Color Package elements shall be a different color than the subject home.
- 2** Homes may have the same or variation of the same floor plan or model as the subject home; however, the home's front elevation may not be identical and shall incorporate multiple variations to the front elevation (e.g., entryway treatment, window style and treatment, building materials and patterns/textures, roofline treatment, garage door treatment or orientation). At the time of the issuance of the Certificate of Occupancy, homes shall have a different primary siding color and at least one of the other three Color Package elements shall be a different color than the subject home.
- 3** Homes may have the same or variation of the same floor plan or model as the subject home; however, the home's front elevation may not be identical. Homes may have the same primary siding color as the subject home; however, at least one Color Package element shall be a different color.

EXHIBIT D

DWELLING CHARACTER EXHIBITS

(See the below and following page)





EXHIBIT E

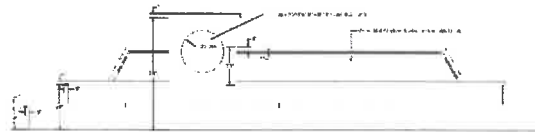
Entrance Signage Exhibit

(Page 1 of 1)

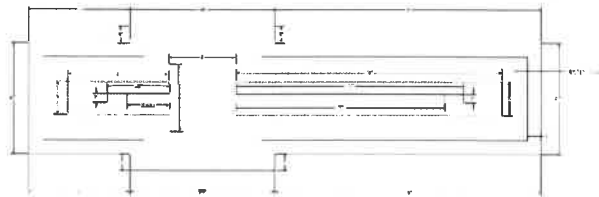
BENDING BRANCH
OF NOBLESVILLE



FRONT ELEVATION



PLAN VIEW VENEER



PLAN VIEW CAPS

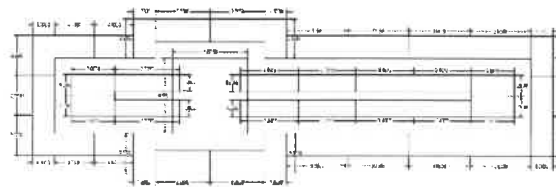


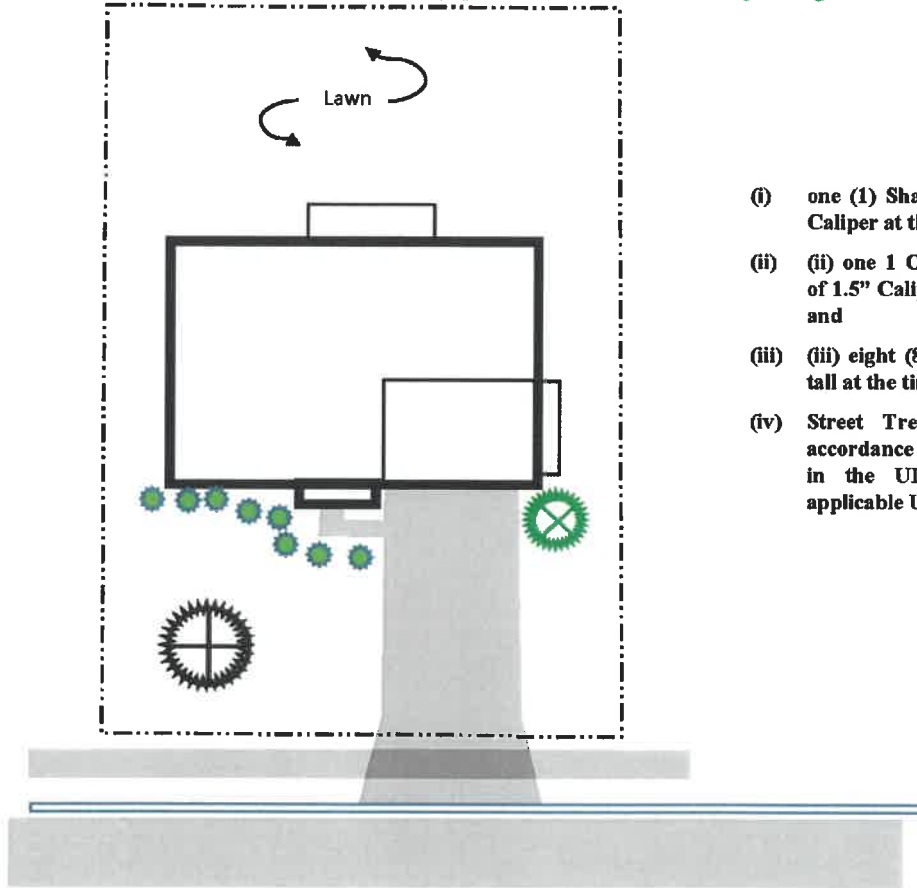
EXHIBIT F

Lot Landscaping Exhibit

(Page 1 of 2)

Bending Branch

Single Family Typical Landscaping



- (i) one (1) Shade Tree (minimum of 2.5" Caliper at the time of planting);
- (ii) one (1) Ornamental Tree (minimum of 1.5" Caliper at the time of planting); and
- (iii) eight (8) shrubs (minimum of 24" tall at the time of planting).
- (iv) Street Trees shall be required in accordance with the standards set forth in the UDO with respect to the applicable Underlying District.

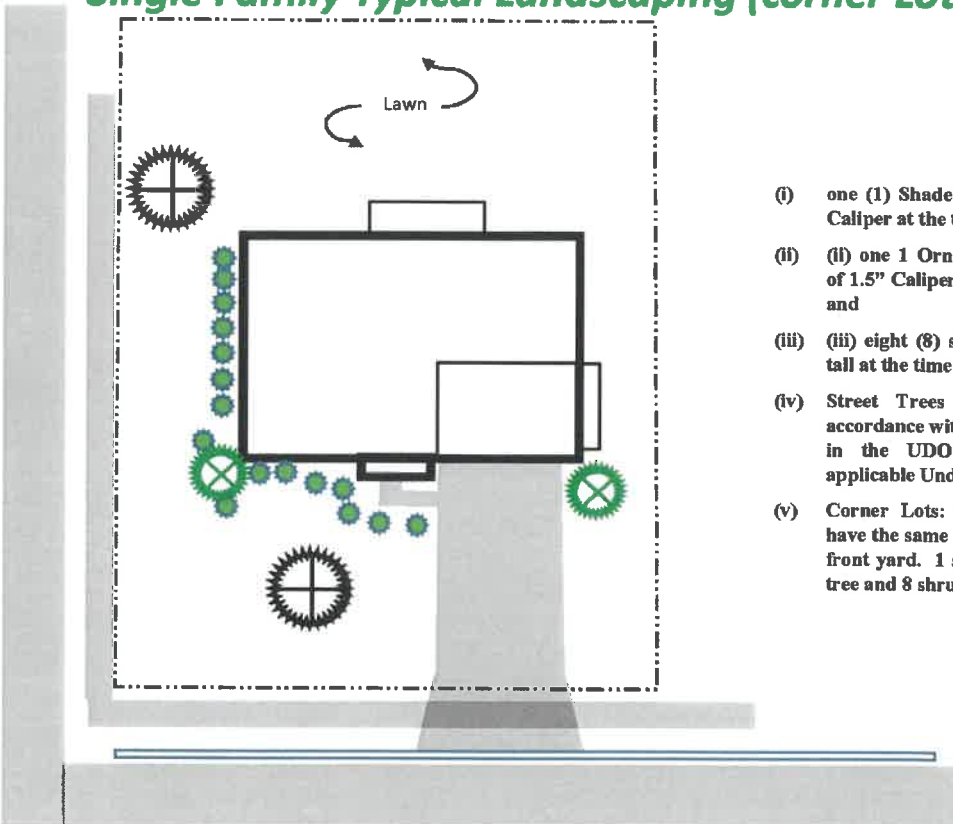
EXHIBIT F

Lot Landscaping Exhibit

(Page 2 of 2)

Bending Branch

Single Family Typical Landscaping (corner Lot)



- (i) one (1) Shade Tree (minimum of 2.5" Caliper at the time of planting);
- (ii) one (1) Ornamental Tree (minimum of 1.5" Caliper at the time of planting); and
- (iii) eight (8) shrubs (minimum of 24" tall at the time of planting).
- (iv) Street Trees shall be required in accordance with the standards set forth in the UDO with respect to the applicable Underlying District.
- (v) Corner Lots: Street Side Yard must have the same number of plantings as a front yard. 1 shade tree, 1 ornamental tree and 8 shrubs

EXHIBIT G

Waivers

The below is a list of Waivers (intended to summarize the text of the PD Ordinance) from the underlying UDO standards.

- A. Modification of Minimum lot width, lot frontage, side and rear setbacks, and lot coverage bulk requirements (see Section 5).
- B. Lot landscaping per **Exhibit F**.
- C. Reduction in the Buffer Yards and Peripheral Yards.
- D. Amended sign standards to permit sign of the design (area and height) consistent with **Exhibit E**.
- E. Reduction of the minimum cul-de-sac radius and street centerline radius (see Section 11).

Noblesville Plan Commission

Noblesville, Indiana

To the Noblesville City Council:

This is to certify that the Plan Commission of Noblesville, Indiana held a public hearing on the 19th day of May 2025 for a change of zoning, adoption of a preliminary development plan and ordinance, a part of the Comprehensive Master Plan, and after due consideration, recommends that the City of Noblesville ADOPT said amendment.

Request: Application No. 0010-2025 Change of Zoning from "R3 Single-Family Residential" to "R3/PD Single-Family Residential Planned Development" and the adoption of a preliminary development plan and ordinance including waivers for the construction of 190 single-family lots located north of E. 191st Street and east of Moontown Road in Noblesville Township to be known as "Bending Branch Planned Development". Submitted by Moontown LLC (Owners); MI Homes (Jonathan Isaacs, Applicant); and Nelson & Frankenberger (Jim Shinaver, Attorney and Jon Dobosiewicz, Land Use Professional) *Staff Reviewer – Amy Steffens*

Plan Commission Action: 9 Ayes 1 Nays 0 Abstentions

Petition is forwarded with a FAVORABLE recommendation

*Respectfully submitted,
Noblesville Plan Commission*

By:


Malinda Wilcox President


Caleb P. Gutshall Secretary