

Agenda Item #4

Case Number	BZNA 000142-2019	Acreage	N/A
Address	5140 Caprock Drive 5160 Caprock Drive	Zoning	R1/PD (Low Density Single Family Residential/Planned Development)
Owner	Lennar Homes	Reviewer	Denise Aschleman
Applicant	Lennar Homes	BZA Meeting	November 4, 2019

Requested Action:

UDO §4.D.2.B – Appeal of a Determination of the Director of Planning regarding a minor amendment to the Slater Farms Planned Development

Recommendation:

Deny the appeal of this administrative decision, Affirm the decision of the Director to approve a Minor Amendment to the Slater Farms Planned Development, and Endorse the facts and conclusions listed in this report to support the finding that the Director's determination of appropriateness under UDO § 8.H.3.J.2.b was not arbitrary, ill-considered, or erroneous.

Table of Contents:

1. Staff Report
2. Parcel Map
3. Aerial Map
4. Application
5. Lennar Homes application for amended development plan
6. Slater Farms Ordinance
7. Report from Alt & Witzig Engineering
8. Minutes – September 15, 2003 Plan Commission meeting, September 23, 2003 Common Council Meeting, October 14, 2003 Common Council Meeting
9. Site Photographs



ANALYSIS

The appeal under consideration deals with actions relating to two lots located in Slater Woods Section 6. Slater Woods is part of the larger Slater Farms planned development that is located on either side of 169th Street just west of Gray Road.

In June 2019, one of the homebuilders in this subdivision approached the Director, Sarah Reed, with soil concerns on up to five specific lots in Slater Woods Section 6 that included Lots 52-56. The architectural standards for Slater Woods contained in the Slater Farms planned development ordinance states that slab foundations are not allowed. That caused concern for the builder, Lennar Homes, as they had begun preliminary investigations that showed that basement construction would be problematic and a slab foundation would be the best method of construction on a couple of their lots. In August 2019, the builder provided the Planning Department with a copy of a geotechnical report prepared by Alt & Witzig (Exhibit 6) that identified elevated ground water levels and granular materials comprised of wet sand and gravel between the depths of seven (7) feet and fifteen (15) feet. The report recommends that slab only construction be considered for Lots 52 and 53, as basement construction on these sites may result in severe difficulty during construction and extensive long-term dewatering. The report stated that ground floors and garage floors for these structures may be constructed as slabs-on-grade supported by natural soils and/or compacted fill materials, and spells out the types of alterations that need to be made to the lots before footings are installed. The report cited the presence of clay materials on Lots 54 and 56 and found that it appeared that basement construction was feasible on Lots 54-56. Given the information contained in the report, the Director determined that a Minor change to the development plan for Lots 52 and 53 only was acceptable consistent with UDO 8.H.3.J.2.b.

The process and factors for the acceptability of approving a Minor Change to a development plan is guided by the UDO and Slater Farms Planned Development Ordinance. Under UDO § 8.H.3J.2.b, the Director may approve Minor Changes to the development plan "that do not change the concept or intent of the adopted preliminary development plan/ordinance, governing agreements, provisions, waivers, conditions, and/or stipulations, without going through the Preliminary Development Plan approval steps." A "Minor Change," defined in UDO Article 2, as applied to a planned unit development is an amendment "that does not alter the intent, objectives, conditions, stipulations, waivers, or findings of the approved plan and does not significantly differ from the plan/ordinance adopted."

Similarly, Section 6 of the Slater Farms Planned Development Ordinance states that the Planning Department will determine whether final plans are in substantial conformance with what has been approved by the ARB and by the Common Council in the PD Ordinance.

As to the specific determination of the Director, the test for the acceptability of a minor change is governed by eight factors set forth in UDO § 8.H.3J.2.b, which are stated and analyzed in the chart below.

The following chart gives the question stated in the Unified Development Ordinance in the left column with the Staff analysis relative to the specific situation relative to the foundations on Lots 52 and 53 in Slater Woods.

Unified Development Ordinance Analysis

<p>UDO § 8.H.3J.2.b The following test as to the acceptability of the changes to an approved preliminary development plan under a Minor Amendment includes:</p>	<p>Staff Review</p>
<p>Is the proposed change significant in terms of its magnitude in relation to the original approval?</p>	<p>The proposed change would allow slab foundations to be used on only 2 lots. There are a total of 122 lots within the Slater Woods portion of the subdivision, and there are a total of 344 lots in the entire Slater Farms subdivision. In other words, the change impacts less than 1% of the lots in this phase of the development, and 0.58% of the total subdivision. In comparison, examples of Major Changes to a planned development under the UDO are characterized in terms of modifications of 10% or more under the definition in Article 2.</p>
<p>Does the proposed change modify any use that the development originally approved?</p>	<p>There is no change of use with the proposed amendment. The planned development remains a single family residential development.</p>
<p>Would the proposed change result in an impact either visually or in terms of an amenity?</p>	<p>There is no visual impact or change to amenities proposed with the amendment. Unlike a change in elevations, siding, facades, etc. a change in foundation type permitted is similarly not expected to visually change the exterior of the home in any obvious manner.</p>
<p>Would the interests of any third party that participated in the public hearing or received notice of the original preliminary development plan/ordinance be disadvantaged in any way?</p>	<p>The change does not impact those that participated or were notified during the original approval process. There were thirteen people that spoke during the public hearing at the Plan Commission during the original approval process. Their concerns at the time included buffer yards and mounding, drainage, traffic, preservation of trees, fire protection, sewer capacity, and school capacity. The proposed change does not affect any of those issues nor would it be anticipated to affect anyone in the original notice area. The two lots are interior to the development and adjacent to other lots within the same development.</p>

Exhibit 1

Would there be any alteration to the site boundary?	There are no physical alterations to the built space within the development. The subdivision boundaries remain the same.
Would the proposed changes reverse design improvements secured during the public hearing process?	The applicant at the time of development willingly offered the prohibition on slab home construction and it was not given as a condition of approval as requested by either the Plan Commission or Common Council and therefore are not design improvement secured during the public hearing process.
Would there be any changes to the external materials which would adversely affect the character or appearance of the development or erode the quality to what was originally approved?	There are no changes to exterior materials on the building that are visible to the outside. The proposed change is to the type of foundation system to be used on the homes, which will not be visible to those viewing from the street.
Is the proposed change contrary to a condition, stipulation, provision, waiver, or governing agreement of the original approval?	No. There were no conditions, stipulations, provisions, waivers, or governing agreement relevant to the proposed change. There was no prevailing developers agreement with this project, and the developer at the time was not required to add any conditions, stipulations, or commitments by either the Plan Commission or Common Council.

The applicant for this appeal, the Slater Farms Homeowners Association, included in their narrative statement some information that they believed illustrated that the proposed change was not an acceptable minor change. Specifically, the applicant asserts that the change:

- i. Does have a visual impact,
- ii. It does disadvantage a party (homeowners and HOA) when this Planned Development (PD) was originally improved,
- iii. It does reverse a design improvement added during the public hearing process on the original PD, and
- iv. Is in violation of one of the items within the original ordinance.

Staff's review of each of these factors are addressed in the chart above.

The applicant has also name four other concerns: 1) Lot 53- front sidewalk is within drainage utility & sewer easement; 2) Concern that both lot 52 & 53 foundations will not be below the frost line; 3) Ground water table present at these lots; 4) Home values. Staff offers the following information relating to these stated concerns.

- (1) The sidewalk accessing the front door on the proposed house is located within the 25' front building setback line, but is located outside of the 20' drainage utility and sewer easement. The sidewalk complies with all applicable development regulations as shown.
- (2) The building codes sets out minimum standards for construction, including requirements for foundations and footings. One of the provisions is that the footings for all single family must extend down to at or below the frost line, which is 30 inches below grade in our area of Indiana.
- (3) The applicants concern over the ground water table supports the Director's decision to approve the minor change. The current request is going forward because the City has concerns about the ground water table in this area, and the additional maintenance and burden that a basement could have on future homeowners if installed on the lot. The testing that was done encountered water at approximately 8' from grade, making the installation of a basement on Lots 52 and 53 problematic.
- (4) The applicant has provided no expert evidence of any effect on home values, but generally appraisers will use similar houses for comparison, and a slab home is not likely to have the same square footage as the same home with a basement.

Given all the information contained above, it remains Staff's position that the proposed changes by the Builder for only two lots are an acceptable minor change to the planned development under the UDO, and that the BZA should affirm that the Director's decision was not arbitrary, ill-considered, or erroneous.

FACTS AND CONCLUSIONS

The Director of Planning and Development made the decision to allow this Minor Change in the development plan for Slater Farms for two limited lots based upon the tests for acceptability laid out in the Unified Development Ordinance. The decision to approve the Minor Change is not an arbitrary, ill-considered, erroneous, or capricious decision based upon those criteria.

The evidence supporting the Director's decision to proceed with a Minor change can be seen in the Unified Development Ordinance Analysis Chart beginning on Page 3 of the staff report. The builder has provided sufficient evidence within the Alt & Witzig report to state that the installation of a slab-on-grade foundation is necessary on Lots 52 and 53 for the construction of a new structure. They have provided exhibits of the revisions to the soil that are needed to provide a stable footing and foundation for construction on these lots. In addition, the proposed change would not be characterized as a Major Change as contemplated by the UDO because it (1) does not result in an increase in density; (2) does not result in a ten percent or greater increase in the quantity of approved diverse housing types; (3) is not a modification to the proportion or allocation of land uses; (4) does not result in a lessening of aesthetic treatments of structures, building, signs, and/or landscaping; (5) is not a modification in the functional use of open space; (6) does not result in modification to the street system, access to the development, and/or off-street parking area affecting traffic patterns, alignment, or intensity greater than 10% of the planned development area; (7) is not a modification to utilities including water, electricity, gas, drainage, or other infrastructure greater than 10% of the planned development area; (8) does not involve a significant change to the drainage management systems including but not limited to

BMP's and legal drains; and/or (9) is not any other modification that is not specifically listed in Article 2 of the UDO and determined significant by the Director of Planning and Development.

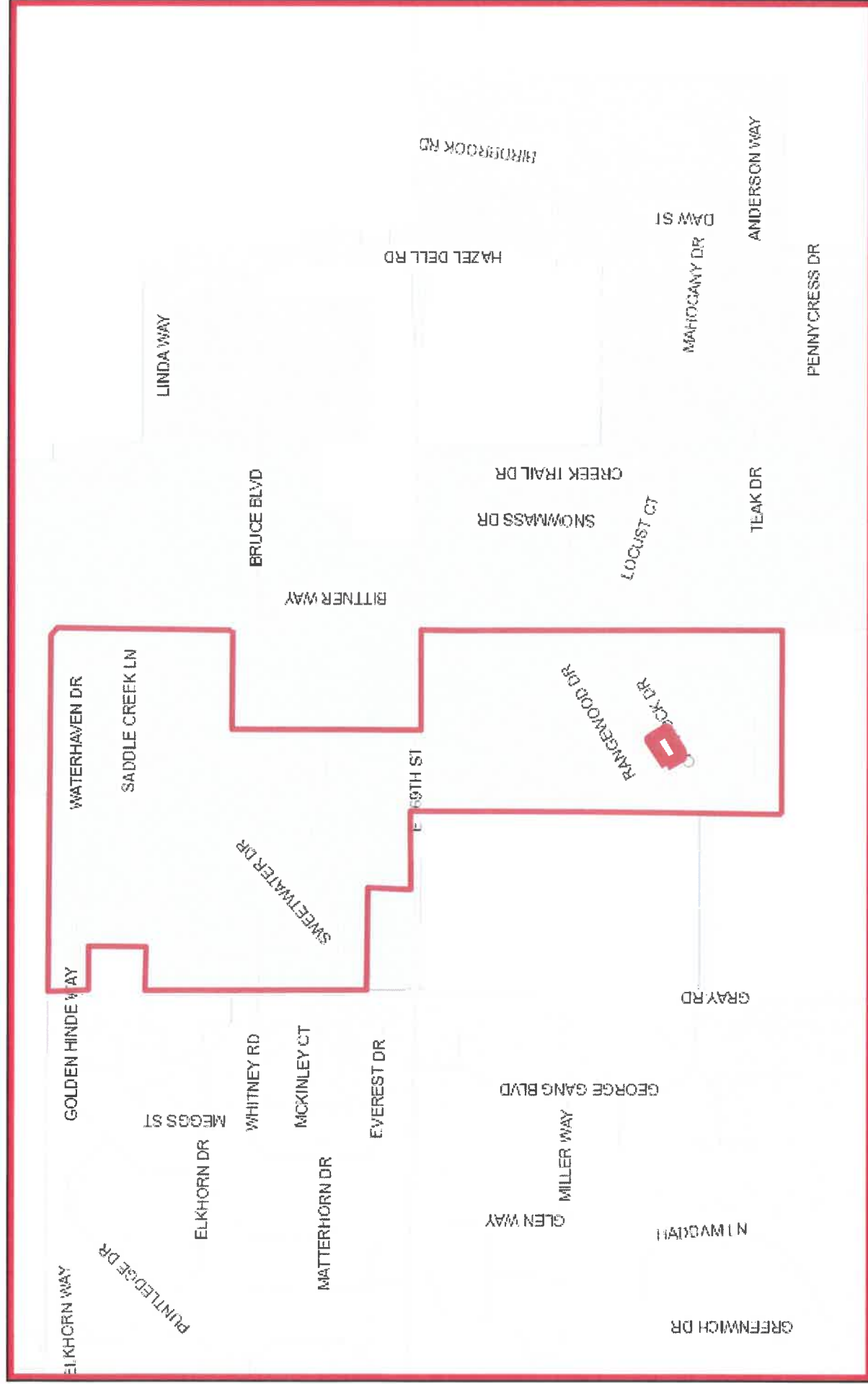
RECOMMENDATIONS

AGENDA ITEM #4:

The appeal procedure is provided as a safeguard from arbitrary, ill-considered, or erroneous administrative decisions. It is intended to avoid the need for legal action by establishing a procedure to review and correct administrative errors, but it is not intended as a means to subvert the clear purposes, meanings, or intent of the Unified Development Ordinance or the rightful authority of the Director of Planning and Development to enforce the provisions of the ordinance. The Board should give proper deference to the spirit and intent of the ordinance, and the reasonable interpretations of the language by those persons charged with the administration of the ordinance. UDO § 4.D.2 states that the Board of Zoning Appeals shall hear and decide appeals from, and review orders, decisions, determinations, or the failure to act, of the Director of Planning and Development acting pursuant to their authority and duties under the ordinance. The Board of Zoning Appeals shall have the same powers and be subject to the same standards and limitations as the Director of Planning and Development with respect to any order, decision, or determination being appealed.

DENY the appeal of this administrative decision, **AFFIRM** the decision of the Director to approve a Minor Amendment to the Slater Farms Planned Development, and **ENDORSE** the facts and conclusions listed in this staff report to support the finding that the Director's determination of appropriateness under UDO § 8.H.3J.2.b was not arbitrary, ill-considered, or erroneous.

Exhibit 2 Parcel Map



October 30, 2019

centerlines

1:12,000

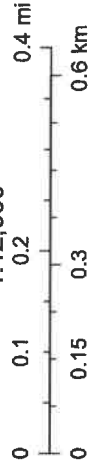
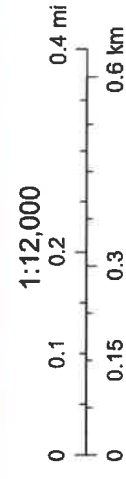


Exhibit 3 Aerial Photograph



October 30, 2019

centerlines





APPLICATION FOR APPEAL/INTERPRETATION
BOARD OF ZONING APPEALS
NOBLESVILLE, INDIANA

Exhibit 4

OCT 07 2019

Noblesville
Planning Department

APPLICATION NUMBER

BZNA-0142-2019

The undersigned requests an appeal/interpretation as specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application and any conditions or safeguards required by the Board of Zoning Appeals. If construction fails to commence within twelve (12) months or is not completed within three (3) years after approval by the Board of Zoning Appeals, this permit is void.

NOTE: This application must be completed and accompanied by the information specified, and filed at least twenty-one (21) days prior to the date of the regular Board of Zoning Appeals (BZA) meeting. If the information is not submitted in its entirety by the deadline, the application will not be docketed on the BZA agenda.

Name of Applicant Amanda Hulback Phone Number (508) 737-3136

Address of Applicant 5202 Rangewood Drive, Noblesville, IN 46062

Name of Owner Cal-Atlantic Homes of Indiana, Inc. Address 9025 North River Road Ste. 100
Indianapolis, IN 46240

1. Location Description: Subdivision Name Slater Woods of Noblesville

Section 9 Township 18 Range 4

Block _____ Lot 52 & 53

(If not in a platted subdivision, please attach a legal description).

2. Existing Use RES-Vacant Platted Lot

3. Zoning District R1/PD

4. Original Hearing Date: _____

5. Original Decision Date: _____

6. Description of Decision Being Appealed/Interpretation Requested:

Please see Attachment 1-Application for Appeal/Interpretation
Board of Zoning Appeals Noblesville, Indiana

Date: 10-7-19

Applicant's Signature

ATTACHMENT 1 - APPLICATION FOR APPEAL/INTERPRETATION BOARD OF ZONING APPEALS NOBLESVILLE, INDIANA

Description of Decision Being Appealed:

As Secretary of Slater Farms Homeowners Association Inc Board of Directors, I am brining this appeal forth to the Board of Zoning Appeals under UDO 4.D.2 as a both homeowner in Slater Woods of Noblesville and on behalf of other homeowners in the community.

The reason for the appeal of Lots 52 & 53 in Slater Woods of Noblesville, is that these lots were approved and permitted to be slab homes by the Planning and Zoning Department of Noblesville. The permitting of lots 52 & 53 specifically goes against the Ordinance NO. 67-9-03, An Ordinance to Amend the Zoning Ordinance, A Part of the Mater Plan of the City of Noblesville, Hamilton County, Indiana - Slater Woods – Architectural and Building Guidelines section 8 titled Foundation, sub-section A that states, "Slab Foundations are not permitted."

Also, based upon below statement from Planning and Zoning Department's attorney Steve Unger (that was sent over via email), "The Director may administratively approve minor changes in the Planned Development. Whether or not a new home is required to have a basement here would generally be considered a minor changes because (a) it is not use modifications, (b) it does not have a visual impact, (c) it does not disadvantage a party that participated in or received notice when the PD was originally approved, (d) it does not reverse a design improvement added during the public hearing process on the original PD, (e) there are not changes to external materials, (f) it is not contrary to a condition or agreement of the original approval. It is also substantially complaint with the original architectural plans. As an administrative decision, anyone aggrieved by the Director's decision may appeal to the Board of Zoning Appeals under UDO 4.D.2." conversely, this "minor change" (i) does have a visual impact, (ii) it does disadvantage a party (homeowners and HOA) when this Planned Development (PD) was originally approved, (iii) it does reverse a design improvement added during the public hearing process on the original PD and (iv) is in violation of one of the items within the original ordinance. Additionally, the Slater Farms HOA, nor homeowners were made aware of these potential changes.

A few other concerns for appeal are:

- Lot 53 – front sidewalk is within drainage utility & sewer easement
- Concern that both lot 52 & 53 foundations will not be below the frost line
- Ground water table present at these lots
- Home values

Finally, Gradison and Lennar have a history of not following through with what was laid out in the ordinance (Ordinance NO. 67-9-03). What is the procedure by the Planning and Zoning Department for to require Gradison and Lennar to provide documentation of the recommendations that were outlined in the Alt & Witzig Engineering, Inc. (Geotechnical Division) Subsurface Investigation & Geotechnical Recommendations?



PROJECT APPLICATION

(DOES NOT INCLUDE BOARD OF ZONING APPEALS APPLICATIONS)

APPLICATION
NO'S

LEGP-00128-2019

(OFFICE USE ONLY)

The applicant, owner, and developer shall provide requested information in its entirety. Lines not completed or left blank shall cause delays in providing docketing numbers and processing of the project. Fees associated with the project application include all checked processes below for the total fee.

This single application is for the processes listed below. PLEASE CHECK ALL THAT APPLY.

CHANGE OF ZONING	<input type="checkbox"/>	PROGRAM OF SIGNS (including amendments)	<input type="checkbox"/>
PRELIMINARY DEVELOPMENT PLAN	<input type="checkbox"/>	DETAILED DEVELOPMENT PLAN	<input type="checkbox"/>
AMENDMENT TO ADOPTED PLANNED DEVELOPMENT	<input checked="" type="checkbox"/>	SPECIAL CONSIDERATION (PD)	<input type="checkbox"/>
PRIMARY PLAT	<input type="checkbox"/>	SECONDARY PLAT	<input type="checkbox"/>
REPLAT/AMENDED PLAT/PLAT VACATION	<input type="checkbox"/>	IMPROVEMENT LOCATION PERMIT	<input type="checkbox"/>
TECHNICAL ADVISORY COMMITTEE (TAC)	<input type="checkbox"/>	ARCHITECTURAL REVIEW BOARD	<input type="checkbox"/>
OTHER MODIFICATIONS TO ADOPTED ORDINANCES REGARDING A CHANGE OF ZONING SUCH AS COMMITMENTS, CONDITIONS, WAIVERS, AND/OR STIPULATIONS			<input type="checkbox"/>

PROJECT INFORMATION (CHECK ALL THAT APPLY)

RESIDENTIAL

☒

NON-RESIDENTIAL

☐

PROPOSED PROJECT NAME

Slater Woods - Lots 52 & 53

ADDRESS / LOCATION

5140/5160 Caprock Dr., Noblesville, IN 46062

PROJECT DESCRIPTION (BE SPECIFIC AND PROVIDE DETAILS)

Lots 52 & 53 soils will not allow for basements so slabs are being requested for these two lots.

PROJECT DETAILS

TOTAL PROJECT ACRES

.66

TOTAL DISTURBED ACRES
(Rule 5)

EXISTING LAND USE

Residential Subdivision

ACRES OF
OPEN SPACE

PERCENTAGE OF
OPEN SPACE

ACRES OF
IMPERVIOUS
SURFACE

PERCENTAGE OF
IMPERVIOUS
SURFACE

CURRENT ZONING DISTRICT(S)
(REFER TO ONLINE ZONING MAP(S):

PROPOSED ZONING DISTRICT(S)

PD OVERLAY

NO

PILOS

NO

BMP

OFF-SITE

FLOODPLAIN

NO

ACRES

FLOOD ZONE(S)
(REFER TO FEMA MAPS)

FIRM REVISION DATE

FIRM PANEL NUMBER(S)

Is the site dirt balanced

NO

Location of Dirt Stockpiles

OFF-SITE

WETLANDS

NO

ACRES

WETLAND DESIGNED TYPE

COUNTY PARCEL NUMBER(S)

10-10-09-00-09-001.000 & 10-10-09-00-09-002.000

TOWNSHIP
NAME

Noblesville

TOWNSHIP
SECTION NUMBER

TOWNSHIP
NUMBER

RANGE
NUMBER

SUBDIVISION NAME

Slater Woods

SUBDIVISION
SECTION

6

LOT RANGE
OR
SINGLE LOT

52 & 53

BLOCK
NUMBER
(IF APPLICABLE)

PROJECT CONTACT INFORMATION

OWNER'S NAME CalAtlantic Homes of Indiana Inc

MAILING ADDRESS 9025 N River Rd Ste 100, Indianapolis, IN 46240

EMAIL ADDRESS keith.lash@lennar.com

TELEPHONE NUMBER (OFFICE OR HOME) (317) 659-3231

CELLULAR NUMBER (317) 714-2120

APPLICANT'S NAME Slater Woods, LLC

MAILING ADDRESS 6330 E. 75th Street, Suite 156, Indianapolis, IN 46250

EMAIL ADDRESS mgradison@gradison.net

TELEPHONE NUMBER (OFFICE OR HOME) (317) 506-1037

CELLULAR NUMBER

PROJECT ENGINEER'S NAME	Duane A. Sharrer, P.E.		
COMPANY NAME	Weihe Engineers, Inc.		
MAILING ADDRESS	10505 N. College Avenue, Indianapolis, Indiana 46280		
EMAIL ADDRESS	sharrer@weihe.net		
TELEPHONE NUMBER (OFFICE)	(317) 846-6611	CELLULAR NUMBER	(317) 690-1540
PROJECT SURVEYOR'S NAME			
COMPANY NAME			
MAILING ADDRESS			
EMAIL ADDRESS			
TELEPHONE NUMBER (OFFICE)		CELLULAR NUMBER	
PROJECT ARCHITECT'S NAME			
COMPANY NAME			
MAILING ADDRESS			
EMAIL ADDRESS			
TELEPHONE NUMBER (OFFICE)		CELLULAR NUMBER	
PROJECT LANDSCAPE ARCHITECT'S NAME			
COMPANY NAME			
MAILING ADDRESS			
EMAIL ADDRESS			
TELEPHONE NUMBER (OFFICE)		CELLULAR NUMBER	

PROJECT ATTORNEY'S NAME		
COMPANY NAME		
MAILING ADDRESS		
EMAIL ADDRESS		
TELEPHONE NUMBER (OFFICE)		CELLULAR NUMBER
NAME OF PRIMARY CONTACT Mark Gradison		
MAILING ADDRESS 6330 E. 75th Street, Suite 156, Indianapolis, IN 46250		
EMAIL ADDRESS mgradison@gradison.net		
TELEPHONE NUMBER (317) 506-1037		

OUTSIDE AGENCY PERMIT INFORMATION

327 IAC 3 CONSTRUCTION PERMIT (SANITARY SEWER)

IDEM Required

NA

Filed

NO

Date Filed/Anticipated File Date

327 IAC 8 CONSTRUCTION PERMIT (DRINKING WATER)

IDEM Required

NA

Filed

NO

Date Filed/Anticipated File Date

327 IAC 15-5 CONSTRUCTION PERMIT (RULE 5 - LAND DISTURBANCE)

IDEM Required

NA

Filed

NO

Date Filed/Anticipated File Date

HAMILTON COUNTY SURVEYOR'S OFFICE
(NON-ENFORCEMENT, OUTLET, CROSSING, RELOCATION/RECONSTRUCTION PERMIT(S))

HC Surveyor Required

NA

Filed

NO

Date Filed/Anticipated File Date

HAMILTON COUNTY HIGHWAY DEPARTMENT

HC Highway Required

NA

Filed

NO

Date Filed/Anticipated File Date

IDEM 401 PERMIT (ARMY CORPS OF ENGINEERS PERMIT 404)

IDEM Required

NA

Filed

NO

Date Filed/Anticipated File Date

Army Corps Required

NO

Filed

NO

Date Filed/Anticipated File Date

PUBLIC NOTICE ADVERSITING COSTS

BILLED TO: Slater Woods, LLC

ATTESTS AND SIGNATURES

State of Indiana)
) SS:
County of Hamilton)

I attest that all of the above information is true and correct to the best of my knowledge and belief. I understand that any materially false, misleading, or incomplete statements on this application shall constitute grounds for denial of this application and/or revocation of my request.

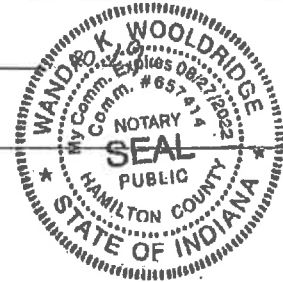
Owner's Print Name KEITH LASH

Owner's Signature (Required) _____

Subscribed and Sworn to before me this 25th day of SEPTEMBER

Notary Signature Theresa Winters

(Printed Name, Commission Expires, Resident of What County or STAMP)



Applicant or Developer's Printed Name	MARK D. GRADISON
---------------------------------------	------------------

Applicant or Developer's Signature Malik

Subscribed and Sworn to before me this 23RD day of SEPTEMBER, 2019

Notary Signature Katherine E. Coe

(Printed Name, Commission Expires, Resident of What County or STAMP)



PRIOR TO ANY SUBMITTALS FOR THE NOTED APPLICATIONS, A PRE-FILING MEETING IS REQUIRED WITH PLANNING DEPARTMENT REPRESENTATIVES.

Pre-Filing Meeting Date

Planning Representative(s)	
----------------------------	--

ORDINANCE NO. 67-9-03

200300110332
Filed for Record in
HAMILTON COUNTY, INDIANA
JENNIFER J HAYDEN
10-23-2003 At 01:59 pm.
ORDINANCE 25.00

2500
2500
(9) 100 none

AN ORDINANCE TO AMEND THE ZONING ORDINANCE,
A PART OF THE MASTER PLAN OF THE CITY OF
NOBLESVILLE, HAMILTON COUNTY, INDIANA

This is an Ordinance (the "PUD Ordinance") amending the Unified Development Ordinance of the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended (the "Zoning Ordinance"):

WHEREAS, the Plan Commission of the City of Noblesville (the "Commission") has conducted a public hearing as required by law in regard to application #03J-15-1511 for approval of a preliminary development plan and this PUD Ordinance filed by Precedent Residential Development, LLC for the real estate containing approximately 211.87 acres, legally described on Exhibit "A" hereto, and located in Noblesville Township, Noblesville, Indiana (the "Real Estate"); and

WHEREAS, the Commission has sent to the Common Council of the City of Noblesville, Indiana (the "Common Council") its unanimous favorable recommendation adopted on the 15th day of September, 2003.

NOW, THEREFORE, BE IT ORDAINED by the Common Council, meeting in regular session, that the Zoning Ordinance and the zone map (the "Zone Map") corresponding to the Zoning Ordinance are hereby amended as follows:

SECTION 1. OVERALL CLASSIFICATION. The Real Estate is classified a Planned Development ("PD") with a base zoning of R-1 under the Zoning Map.

SECTION 2. ADDITIONAL EXHIBITS.

- A. Attached hereto and incorporated herein by reference as Exhibit "B", is the approved preliminary development plans (collectively, the "Preliminary Plan").
- B. Attached hereto and incorporated herein by reference as Exhibit "C", are development standards matrix and lot guidelines.
- C. Attached hereto and incorporated herein by reference as Exhibit "D", are landscape buffer and mound details which control the planting and landscaping detail in the corresponding areas delineated on the Preliminary Plan.
- D. Attached hereto and incorporated herein by reference as Exhibit "E", are common area detail and illustrations which control the planting, landscaping and amenity detail in the corresponding areas delineated on the Preliminary Plan..
- E. Attached hereto and incorporated herein by reference as Exhibit "F", are density and open space calculations.
- F. Attached hereto and incorporated herein by reference as Exhibit "G", are entryway landscaping and detail illustrations and provisions which control the planting and landscaping detail in the corresponding areas delineated on the Preliminary Plan.

SECTION 3. ELEVATIONS. Elevations for the single family dwellings shall be as follows:

- G. Attached hereto and incorporated herein by reference as Exhibit "H" are (i) architectural guidelines which control the construction of the residences to be constructed in the area designated as "Slater Run" in the Preliminary Plan (the "Slater Run Homes") and (ii) sample elevations of the Slater Run Homes.
- H. Attached hereto and incorporated herein by reference as Exhibit "T" are (i)

architectural guidelines which control the construction of the residences to be constructed in the area designated as “Slater Ridge” in the Preliminary Plan (the “Slater Ridge Homes”) and (ii) sample elevations of the Slater Ridge Homes;

- I. Attached hereto and incorporated herein by reference as Exhibit “J” are (i) architectural guidelines which control the construction of the residences to be constructed in the area designated as “Slater Woods” in the Preliminary Plan (the “Slater Woods Homes”) and (ii) sample elevations of the Slater Woods Homes;
- J. Attached hereto and incorporated herein by reference as Exhibit “K” are sample elevations of Historical Style residences representative of the type to be constructed in Slater Run;
- K. Attached hereto and incorporated herein by reference as Exhibit “L” are sample elevations of Historical Style residences representative of the type to be constructed in Slater Ridge;
- L. Attached hereto and incorporated herein by reference as Exhibit “M” are sample elevations of Historical Style residences representative of the type to be constructed in Slater Woods;
- M. Attached hereto and incorporated herein by reference as Exhibit “N” are (i) architectural guidelines which control the construction of the pool and bathhouse in Slater Farms and (ii) sample elevations of the pool and bathhouse to be constructed in Slater Farms at the location delineated in the Preliminary Plan.

SECTION 4. MODEL HOMES. Model homes shall be permitted as follows:

- N. Model homes complying with the architectural guidelines which control the

construction of the Slater Run Homes may be constructed on Lots 19, 20, 21, and 22 in the area designated as "Slater Run" in the Preliminary Plan, and Lot 18 in the area designated as "Slater Run" in the Preliminary Plan may be used as an off-street parking lot.

O. Model homes complying with the architectural guidelines which control the construction of the Slater Ridge Homes may be constructed on Lots 39, 40, 41, and 42 in the area designated as "Slater Ridge" in the Preliminary Plan, and Lot 38 in the area designated as "Slater Ridge" in the Preliminary Plan may be used as an off-street parking lot.

P. Model homes complying with the architectural guidelines which control the construction of the Slater Woods Homes may be constructed on Lots 118, 119, 120, and 121 in the area designated as "Slater Woods" in the Preliminary Plan, and Lot 10 in the area designated as "Slater Woods" in the Preliminary Plan may be used as an off-street parking lot.

SECTION 5. PUD DEVELOPMENT STANDARDS. This PUD Ordinance and its exhibits permit variations from the development standards, specifications, guidelines, and/or requirements contained in the Zoning Ordinance, including provisions permitting (i) the perimeter buffer yard required under the Zoning Ordinance to be reduced from fifty (50) feet in width to twenty-five (25) feet; (ii) reduction of the minimum lot area to ten thousand (10,000) square feet; (iii) reduction of the minimum front yard setback to twenty-five (25) feet; (iv) reduction of the minimum side yard setback to five (5) feet [fifteen (15) feet in the aggregate]; (v) reduction of the minimum lot width to eighty (80) feet; and (vi) the construction of fences within the twenty-five (25) foot perimeter buffer as delineated in the Preliminary Plan (hereafter "Perimeter Buffer") provided, however, that (a) any fence constructed within the Perimeter Buffer shall not exceed forty-eight (48) inches in height, unless the Lot upon which the fence is constructed adjoins (1) a public trail, (2) a public path or (3) the public baseball fields associated

with the Hazel Dell Elementary School, in which case a fence seventy-two (72) inches in height shall be allowed and (b) construction of structural improvements such as, but not limited to, pools, outbuildings and play equipment is prohibited in the Perimeter Buffer. The development standards, specifications, guidelines, and/or requirements established by and specified in this PUD Ordinance and/or its exhibits supersede the development standards, specifications, guidelines, and/or requirements of the Zoning Ordinance and the Subdivision Control Ordinance of the City of Noblesville, Indiana (the Subdivision Control Ordinance); provided, however, that unless a development standard, specification, guideline, and/or requirement contained in the Zoning Ordinance or Subdivision Control Ordinance is varied, altered, or modified by this PUD Ordinance and/or its exhibits, then such development standard, specification, guideline, and/or requirement as specified in the Zoning Ordinance or Subdivision Control Ordinance shall apply. Further, (i) all lighting and curbing shall be as required by the Zoning Ordinance, and (ii) all mail boxes will be as required by the U.S. Postmaster.

SECTION 6. PROCEDURES. The following procedures shall apply:

A. The Planning Department shall determine whether final plans including, without limitation, building elevations, site plans, and landscape plans, are in substantial conformance with what has been approved by the ARB and by the Common Council in this PUD Ordinance.

B. Any decision of the Planning Department can be appealed to the ARB. Any decision of the ARB can be appealed to the Common Council.

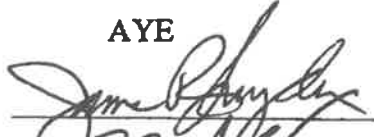

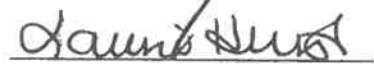
UPON MOTION DULY MADE AND SECONDED, THIS PUD ORDINANCE WAS FULLY PASSED BY THE MEMBERS OF THE COMMON COUNCIL THIS 14th DAY OF October, 2003.

COMMON COUNCIL, CITY OF NOBLESVILLE

BY:

AYE

NAY

James Snyder

Alan Hinds

Laurie Hurst

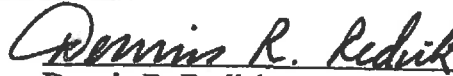
Jack Martin

Dale Snelling

Rex Dillinger


Terry Busby

APPROVED and signed by the Mayor of the City of Noblesville, Hamilton County, Indiana, this 14th day of October, 2003.



Dennis R. Redick, Mayor,
City of Noblesville, Indiana

ATTEST:


Janet S. Jaros, Clerk-Treasurer
City of Noblesville, Indiana

ALL EXHIBITS ARE ON FILE AND MAY BE VIEWED IN THE CITY OF NOBLESVILLE CLERK-TREASURER'S OFFICE.

This Ordinance prepared by: Charles D. Frankenberger, Attorney at Law
NELSON & FRANKENBERGER
3021 East 98th Street, Suite 220
Indianapolis, IN 46280

SLATER FARMS

Zoning Legal Description

A part of the North Half of the South Half of the Northwest Quarter of Section 4, Township 18 North, Range 4 East of the Second Principal Meridian in Noblesville Township, Hamilton County, Indiana and more particularly described as follows:

Commencing from the Southwest corner of the Northwest Quarter of said Section 4, thence North 00 degrees 08 minutes 01 seconds West (an assumed bearing) along the West line of said South Half 1027.61 feet to the Point of Beginning (said point also being the Northwest corner of a WARRANTY DEED to Stephan Schwartz & Lori M. Schwartz, recorded as Instrument Number 9550515, in the Office of the Recorder of Hamilton County, Indiana); thence North 00 degrees 08 minutes 01 seconds West continuing along said West line 301.61 feet to the Northwest corner of said South Half; thence South 89 degrees 49 minutes 32 seconds East along the North line of said South Half 2663.76 feet to the Northeast corner of said South Half; thence South 00 degrees 13 minutes 26 seconds West along the East line of said South Half 666.01 feet to the Southeast corner of the North Half of said South Half; thence North 89 degrees 47 minutes 43 seconds West along the south line of said North Half 2296.61 feet to the Southeast corner of said Warranty Deed (the following two calls are along the Easterly and Northerly lines of said Warranty Deed); 1) thence North 00 degrees 08 minutes 47 seconds West 363.57 feet to a 5/8 inch rebar found; 2) thence North 89 degrees 53 minutes 07 seconds West 363.13 feet to the Point of Beginning and containing 37.62 Acres more or less.

Also including:

The South Half of the South Half of the Northwest Quarter of Section 4, Township 18 North, Range 4 East of the Second Principal Meridian in Noblesville Township, Hamilton County, Indiana and more particularly described as follows:

Beginning at the Southwest corner of the Northwest Quarter of said Section 4, thence North 00 degrees 08 minutes 01 seconds West (an assumed bearing) along the West line of said South Half 664.61 feet to the North Line of the South Half of said South Half; thence South 89 degrees 47 minutes 43 seconds East along said North line 2659.61 feet to the Northeast corner of the South Half of said South Half; thence South 00 degrees 13 minutes 26 seconds West along the East line of said South Half 666.01 feet to the Southeast corner of said South Half; thence North 89 degrees 45 minutes 54 seconds West along the South line of said South Half 2655.47 feet to the Point of Beginning and containing 40.59 Acres more or less.

Also including:

A part of the North Half of the Southwest Quarter of Section 4, Township 18 North, Range 4 East of the Second Principal Meridian in Noblesville Township, Hamilton County, Indiana and more particularly described as follows:

Beginning at the Northwest corner of the Southwest Quarter of said Section 4, thence South 89 degrees 45 minutes 54 seconds East along the North line of said North Half 1933.71 feet; thence South 00 degrees 04 minutes 37 seconds West 1300.71 feet to the North line of a WARRANTY DEED to Hamilton County, recorded as Instrument Number 200000063218, in the Office of the Recorder of Hamilton County, Indiana (the following two calls are along the Northerly and Westerly lines of said Warranty Deed); 1) thence South 83 degrees 48 minutes 28 seconds West 14.03 feet; 2) thence South 00 degrees 05 minutes 18 seconds East 15.05 feet to the South Line of said North Half; thence North 89 degrees 55 minutes 23 seconds West along the South line of said North Half 1142.04 feet to the Southeast corner of a TRUSTEE'S DEED to Jack Epp and Julia Epp, recorded as Instrument Number 8912300, in the Office of the Recorder of Hamilton County, Indiana (the following two calls are along the Northerly and Westerly lines of said Warranty Deed); 1) thence North 01 degrees 25 minutes 09 seconds East 294.78 feet; 2) thence North 89 degrees 52 minutes 32 seconds West 353.96 feet to the Northeast corner of a WARRANTY DEED to Jack L. Epp and Julia J. Epp, recorded as Instrument Number 8821960, in the Office of the Recorder of Hamilton County, Indiana (the following call is along the Northerly line of said Warranty Deed); 1) thence North 89 degrees 32 minutes 05 seconds West 429.00 feet to the West line of said North Half; thence North 00 degrees 01 minutes 09 seconds West along the West line of said North Half 1024.74 feet to the Point of Beginning and containing 53.27 Acres more or less.

Also including :

The Southeast Quarter of the Southwest Quarter of Section 4, Township 18 North, Range 4 East, of the Second Principal Meridian and the Northeast Quarter of the Northwest Quarter of Section 9, Township 18 North, Range 4 East, of the Second Principal Meridian in Noblesville Township, Hamilton County, Indiana and more particularly described as follows:

Beginning at the Northeast corner of the Southeast Quarter of the Southwest Quarter of said Section 4, thence South 00 degrees 10 minutes 19 seconds West (an assumed bearing) along the East line of said Southeast Quarter-Quarter 1323.32 feet to the Southeast Corner of the Southwest Quarter of said Section 4 (said point also being the Northeast Corner of the Northwest Quarter of said Section 9); thence South 00 degrees 08 minutes 30 seconds East along the East line of the Northeast Quarter of the Northwest Quarter of said Section 9 a distance of 1326.17 feet to the Southeast corner of said Northeast Quarter-Quarter; thence North 89 degrees 54 minutes 59 seconds West along the South line of said Northeast Quarter-Quarter 1331.43 feet to the Southwest corner of said Northeast Quarter-Quarter; thence North 00 degrees 12 minutes 48 seconds East along the West line of said Northeast Quarter-Quarter 1326.35 feet to the Northwest corner of said Northeast Quarter-Quarter (said point also being the Southwest corner of the Southeast Quarter of the Southwest Quarter of said Section 4); thence North 00 degrees 04 minutes 43 seconds East along the West line of said Southeast Quarter-Quarter 1322.98 feet to the Northwest corner of said Southeast Quarter-Quarter; thence South 89 degrees 55 minutes 23 seconds East along the North line of said Southeast Quarter-Quarter 562.11 feet to the West line of a WARRANTY DEED to Hamilton County, recorded as Instrument Number 200100001703, in the Office of the Recorder of Hamilton County, Indiana (the following eleven (11) calls are along the southerly lines of said Warranty Deed); 1) thence South 00 degrees 05 minutes 18 seconds West 17.97 feet; 2) thence South 69 degrees 33 minutes 51 seconds East 32.03 feet; 3) thence North 89 degrees 54 minutes 42 seconds East 30.00 feet; 4) thence South 85 degrees 11 minutes 21 seconds East 70.26 feet; 5) thence North 89 degrees 54 minutes 42 seconds East 35.00 feet; 6) thence South 00 degrees 05 minutes 18 seconds East 7.00 feet; 7) thence North 89 degrees 54 minutes 42 seconds East 45.00 feet; 8) thence North 00 degrees 05

minutes 18 seconds West 7.00 feet; 9) thence North 89 degrees 54 minutes 42 seconds East 60.00 feet; 10) thence North 76 degrees 38 minutes 19 seconds East 71.92 feet; 11) thence North 00 degrees 05 minutes 18 seconds West 17.71 feet to the North line of said Southeast Quarter-Quarter; thence South 89 degrees 55 minutes 23 seconds East along said North line 423.25 feet to the Point of Beginning and containing 80.390 Acres more or less.

All Parcels included containing 211.87 Acres more or less.

Subject to all legal easements, rights of way and other servitudes.

CITY OF NOBLESVILLE, INDIANA

SLATER FARMS

**PUD ORDINANCE
NUMBER 67-9-03**

PUD ORDINANCE NUMBER 67-9-03

I. TABLE OF CONTENTS

	<u>Page</u>
Section 1. Overall Classification.....	1
Section 2. Additional Exhibits.....	1
Section 3. Elevations	2
Section 4. Model Homes.....	3
Section 5. PUD Development Standards.....	4
Section 6. Procedures	5

II. EXHIBIT LIST

- Exhibit A - Legal Description
- Exhibit B - Preliminary Development Plans
- Exhibit C - Development Standards Matrix and Lot Guidelines
- Exhibit D - Landscape Buffer and Mound Details
- Exhibit E - Common Area Detail
- Exhibit F - Density and Open Space Calculations
- Exhibit G - Entryway Landscaping Detail
- Exhibit H - Architectural Guidelines and Sample Elevations for Slater Run
- Exhibit I - Architectural Guidelines and Sample Elevations for Slater Ridge
- Exhibit J - Architectural Guidelines and Sample Elevations for Slater Woods
- Exhibit K - Sample Historical Style Residences – Slater Run
- Exhibit L - Sample Historical Style Residences– Slater Ridge
- Exhibit M - Sample Historical Style Residences – Slater Woods
- Exhibit N - Architectural Guidelines and Sample Elevations for Bathhouse

SLATER FARMS

Zoning Legal Description

A part of the North Half of the South Half of the Northwest Quarter of Section 4, Township 18 North, Range 4 East of the Second Principal Meridian in Noblesville Township, Hamilton County, Indiana and more particularly described as follows:

Commencing from the Southwest corner of the Northwest Quarter of said Section 4, thence North 00 degrees 08 minutes 01 seconds West (an assumed bearing) along the West line of said South Half 1027.61 feet to the Point of Beginning (said point also being the Northwest corner of a WARRANTY DEED to Stephan Schwartz & Lori M. Schwartz, recorded as Instrument Number 9550515, in the Office of the Recorder of Hamilton County, Indiana); thence North 00 degrees 08 minutes 01 seconds West continuing along said West line 301.61 feet to the Northwest corner of said South Half; thence South 89 degrees 49 minutes 32 seconds East along the North line of said South Half 2663.76 feet to the Northeast corner of said South Half; thence South 00 degrees 13 minutes 26 seconds West along the East line of said South Half 666.01 feet to the Southeast corner of the North Half of said South Half; thence North 89 degrees 47 minutes 43 seconds West along the south line of said North Half 2296.61 feet to the Southeast corner of said Warranty Deed (the following two calls are along the Easterly and Northerly lines of said Warranty Deed); 1) thence North 00 degrees 06 minutes 47 seconds West 363.57 feet to a 5/8 inch rebar found; 2) thence North 89 degrees 53 minutes 07 seconds West 363.13 feet to the Point of Beginning and containing 37.62 Acres more or less.

Also including:

The South Half of the South Half of the Northwest Quarter of Section 4, Township 18 North, Range 4 East of the Second Principal Meridian in Noblesville Township, Hamilton County, Indiana and more particularly described as follows:

Beginning at the Southwest corner of the Northwest Quarter of said Section 4, thence North 00 degrees 08 minutes 01 seconds West (an assumed bearing) along the West line of said South Half 664.61 feet to the North Line of the South Half of said South Half; thence South 89 degrees 47 minutes 43 seconds East along said North line 2659.61 feet to the Northeast corner of the South Half of said South Half; thence South 00 degrees 13 minutes 26 seconds West along the East line of said South Half 666.01 feet to the Southeast corner of said South Half; thence North 89 degrees 45 minutes 54 seconds West along the South line of said South Half 2655.47 feet to the Point of Beginning and containing 40.59 Acres more or less.

Also including:

A part of the North Half of the Southwest Quarter of Section 4, Township 18 North, Range 4 East of the Second Principal Meridian in Noblesville Township, Hamilton County, Indiana and more particularly described as follows:

Beginning at the Northwest corner of the Southwest Quarter of said Section 4, thence South 89 degrees 45 minutes 54 seconds East along the North line of said North Half 1933.71 feet; thence South 00 degrees 04 minutes 37 seconds West 1300.71 feet to the North line of a WARRANTY DEED to Hamilton County, recorded as Instrument Number 200000063218, in the Office of the Recorder of Hamilton County, Indiana (the following two calls are along the Northerly and Westerly lines of said Warranty Deed); 1) thence South 83 degrees 48 minutes 28 seconds West 14.03 feet; 2) thence South 00 degrees 05 minutes 18 seconds East 15.05 feet to the South Line of said North Half; thence North 89 degrees 55 minutes 23 seconds West along the South line of said North Half 1142.04 feet to the Southeast corner of a TRUSTEE'S DEED to Jack Epp and Julia Epp, recorded as Instrument Number 8912300, in the Office of the Recorder of Hamilton County, Indiana (the following two calls are along the Northerly and Westerly lines of said Warranty Deed); 1) thence North 01 degrees 25 minutes 09 seconds East 294.78 feet; 2) thence North 89 degrees 52 minutes 32 seconds West 353.96 feet to the Northeast corner of a WARRANTY DEED to Jack L. Epp and Julia J. Epp, recorded as Instrument Number 8821960, in the Office of the Recorder of Hamilton County, Indiana (the following call is along the Northerly line of said Warranty Deed); 1) thence North 89 degrees 32 minutes 05 seconds West 429.00 feet to the West line of said North Half; thence North 00 degrees 01 minutes 09 seconds West along the West line of said North Half 1024.74 feet to the Point of Beginning and containing 53.27 Acres more or less.

Also including :

The Southeast Quarter of the Southwest Quarter of Section 4, Township 18 North, Range 4 East, of the Second Principal Meridian and the Northeast Quarter of the Northwest Quarter of Section 9, Township 18 North, Range 4 East, of the Second Principal Meridian in Noblesville Township, Hamilton County, Indiana and more particularly described as follows:

Beginning at the Northeast corner of the Southeast Quarter of the Southwest Quarter of said Section 4, thence South 00 degrees 10 minutes 19 seconds West (an assumed bearing) along the East line of said Southeast Quarter-Quarter 1323.32 feet to the Southeast Corner of the Southwest Quarter of said Section 4 (said point also being the Northeast Corner of the Northwest Quarter of said Section 9); thence South 00 degrees 08 minutes 30 seconds East along the East line of the Northeast Quarter of the Northwest Quarter of said Section 9 a distance of 1326.17 feet to the Southeast corner of said Northeast Quarter-Quarter; thence North 89 degrees 54 minutes 59 seconds West along the South line of said Northeast Quarter-Quarter 1331.43 feet to the Southwest corner of said Northeast Quarter-Quarter; thence North 00 degrees 12 minutes 48 seconds East along the West line of said Northeast Quarter-Quarter 1326.35 feet to the Northwest corner of said Northeast Quarter-Quarter (said point also being the Southwest corner of the Southeast Quarter of the Southwest Quarter of said Section 4); thence North 00 degrees 04 minutes 43 seconds East along the West line of said Southeast Quarter-Quarter 1322.98 feet to the Northwest corner of said Southeast Quarter-Quarter; thence South 89 degrees 55 minutes 23 seconds East along the North line of said Southeast Quarter-Quarter 562.11 feet to the West line of a WARRANTY DEED to Hamilton County, recorded as Instrument Number 200100001703, in the Office of the Recorder of Hamilton County, Indiana (the following eleven (11) calls are along the southerly lines of said Warranty Deed); 1) thence South 00 degrees 05 minutes 18 seconds West 17.97 feet; 2) thence South 69 degrees 33 minutes 51 seconds East 32.03 feet; 3) thence North 89 degrees 54 minutes 42 seconds East 30.00 feet; 4) thence South 85 degrees 11 minutes 21 seconds East 70.26 feet; 5) thence North 89 degrees 54 minutes 42 seconds East 35.00 feet; 6) thence South 00 degrees 05 minutes 18 seconds East 7.00 feet; 7) thence North 89 degrees 54 minutes 42 seconds East 45.00 feet; 8) thence North 00 degrees 05

minutes 18 seconds West 7.00 feet; 9) thence North 89 degrees 54 minutes 42 seconds East 60.00 feet; 10) thence North 76 degrees 38 minutes 19 seconds East 71.92 feet; 11) thence North 00 degrees 05 minutes 18 seconds West 17.71 feet to the North line of said Southeast Quarter-Quarter; thence South 89 degrees 55 minutes 23 seconds East along said North line 423.25 feet to the Point of Beginning and containing 80.390 Acres more or less.

All Parcels included containing 211.87 Acres more or less.

Subject to all legal easements, rights of way and other servitudes.

PRECEDENT
RESIDENTIAL DEVELOPMENT, LLC
317-805-1288



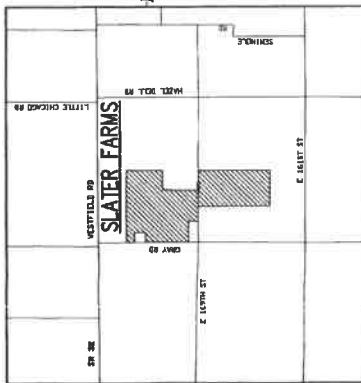
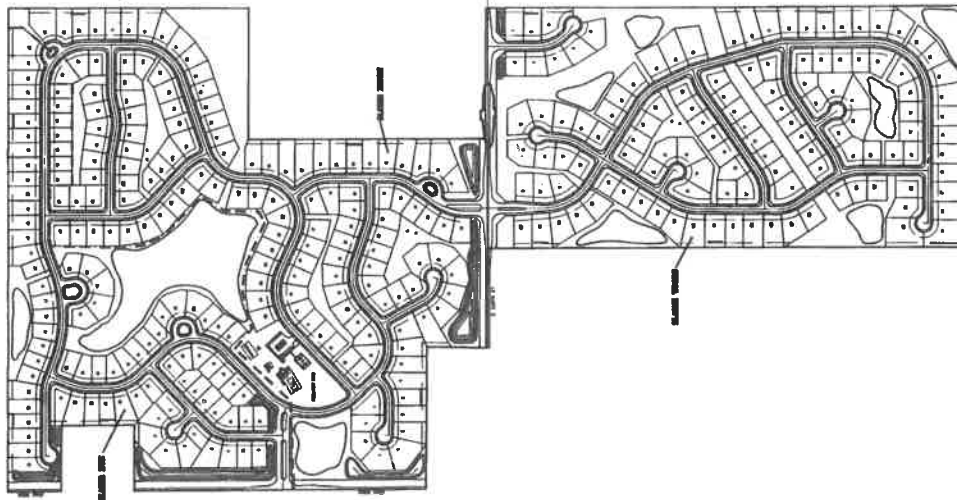
- MOUNDS
- EXISTING WOODLANDS
- PONDS
- OPEN SPACE
- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- WILLOW TREE
- PARK BENCH
- PICNIC TABLE



PRELIMINARY SITE PLAN SUBJECT TO
CHANGE WITHOUT NOTICE



SLATER FARMS

[illegible]

AREA MAP
SCALE: 1" = 2000'

	INDEX
SHEET No.	DESCRIPTION
101	OVERALL PRELIMINARY DEVELOPMENT PLAN
102-105	PRELIMINARY DEVELOPMENT PLAN

LOT SUMMARY		
AREA	NUMBER OF LOTS	*MIN. WIDTH
SLATER RUN	86	80'
SLATER RIDGE	136	90'
SLATER WOODS	74	100'
	48	110'
TOTAL	344	*AT SETBACK LINE

PROJECT SUMMARY	
TOTAL LOTS =	344
GROSS LOT DENSITY =	1.82 Lots per Acre±
NET LOT DENSITY =	1.76 Lots per Acre±
NET AREA =	TOTAL AREA - EX. R/W - PONDS = 195.63 Acres±
POND AREA =	14.58 Acres±
EXISTING RIGHT OF WAY AREA =	1.66 Acres±
TOTAL COMMON OPEN SPACE AREA =	52.23 Acres±
OPEN SPACE =	24.65%
TOTAL ACRES =	211.87 Acres±



ASSUMED NORTH
SCALE: 1"=300'

UTILITIES - NOBLESVILLE

SCALE: 1" = 2000'

Results

<p>Joe Industrial Gas Company 18000 Alhambra Road Alhambra, Indiana 46000 317/776-3334</p>	<p>Electric Cherry (90) 100 South Mill Creek Road Indianapolis, Indiana 46205 (317) 776-3227</p>
<p>Manager Indianapolis Water Co. 220 Maryland and Washington, Indiana 46202</p>	<p>Steven Bauer City of Indianapolis Dept. of Engineering 16700 Carmel Road, (Suite 300) Indianapolis, Indiana 46224</p>

Indianapolis, Indiana 46203
 (317) 778-6330
 SOWA's
 City of Indianapolis

1979 North College
Indianapolis, Indiana 46220
1-800-363-5644

Circle 16
Night Consultants Co.
15211 Stony Creek Way
Bellevue, Indiana 46011

1977, 778-787 and 840

The *Journal of Management Education* is a peer-reviewed journal that publishes research, theory, and practice in the field of management education. The journal is published by the American Management Education Association (AMEA) and is available online at <http://jme.sagepub.com>.

Although the degree to which the program is successful will depend on the quality of the program, the program will be successful if it is able to provide a high level of service to the community.

[illegible]


 No. 10000128
 DATE: 7/7/70
Donna T. Fiksen
 THE ABOVE NAMED PERSONS ARE
 THE SUBJECTS OF THE ABOVE
 INVESTIGATION. IT IS THE POLICE
 DEPARTMENT'S POLICY TO
 MAINTAIN THE CONFIDENTIALITY
 OF THE SOURCE OF THE
 INFORMATION REPORTED TO THE
 ATTORNEY GENERAL'S OFFICE.



Schneider

THE SCHNEIDER CORPORATION
 Medical Port Harbison
 5001 Old Hwy. #1
 Austin, TX 78744-1037
 Telephone: 371.625.7100
 Fax: 371.626.7200
www.schneidercorp.com

Architects
 CMA Engineering
 Environmental Engineering
 Geotechnical Services
 US
 Water Meter Services
 Water Meter
 Interior Design
 Land Surveying
 Landscape Architecture
 Transportation Engineering

SLATER
FARMS
HAMILTON COUNTY, MISSOURI, INDIANA
PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
30 PROPERTY WAY WEST DR., SUITE 100, HIGHLAND PARK, INDIANA 46250

101	PROJECT NO.	07/14/2003	PROJECT NO.
	DRAWN BY	TSC	DRAWN BY
	CHECKED BY		CHECKED BY
	SHEET NO.		SHEET NO.
	OVERALL PERMANENT DEVELOPMENT PLAN		
	REVISIONS		
	No. 2 (4/2/03)		

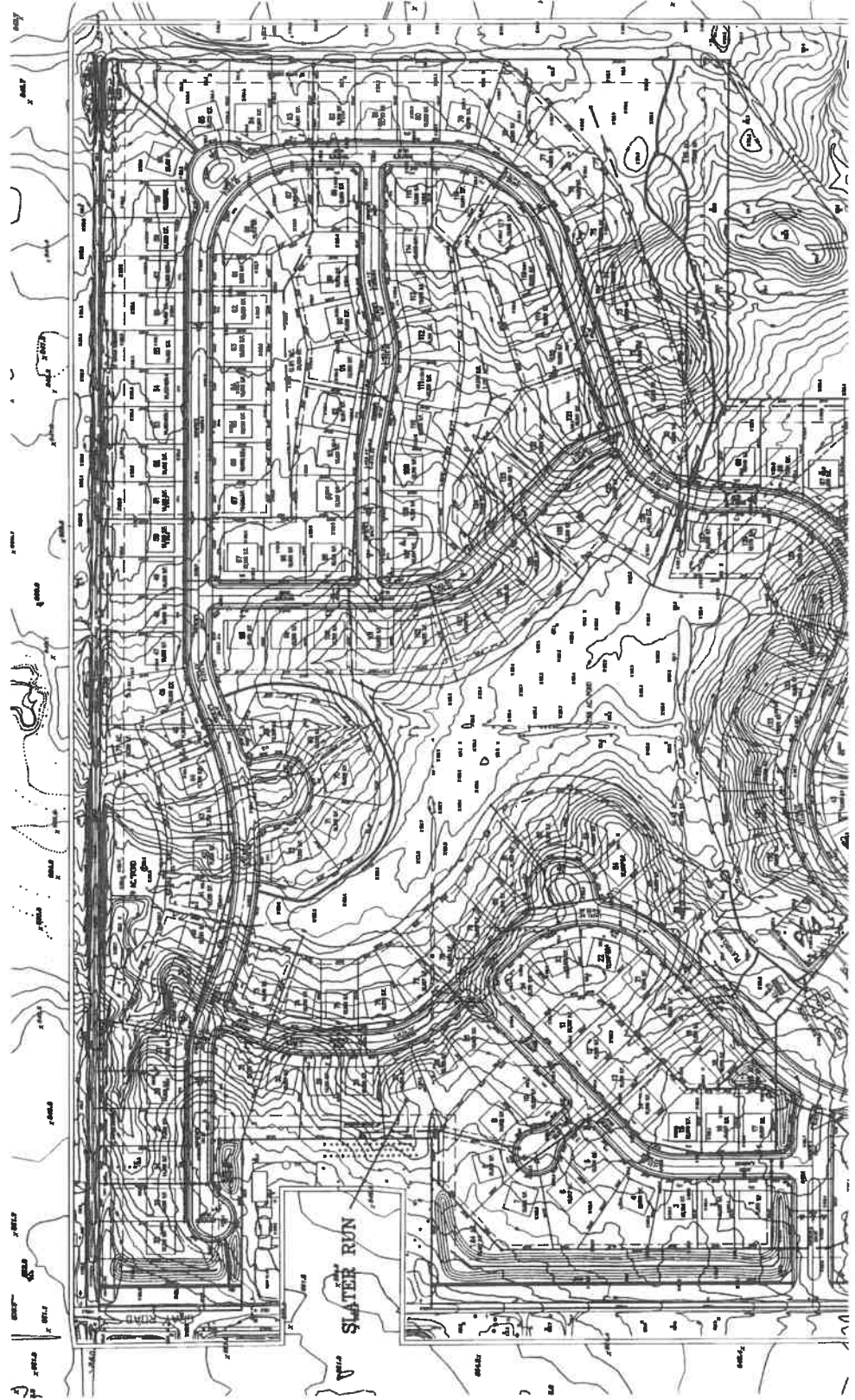


ASSUMED NORTH
SCALE: 1"=100'

DEVELOPER:
PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
5333 PRIORITY WAY WEST DRIVE, SUITE 100
NOBLESVILLE, IN 46240
TEL: 317-805-1179
FAX: 317-805-1179

OWNER:
PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
5333 PRIORITY WAY WEST DRIVE, SUITE 100
NOBLESVILLE, IN 46240
TEL: 317-805-1179
FAX: 317-805-1179

PRELIMINARY DEVELOPMENT PLAN for SLATER FARMS NOBLESVILLE, INDIANA R1PD ZONING



David T. Peltier
Professional Engineer
No. 0000129
State of Indiana
Civil Engineering
10000 N. Meridian Road
Suite 100
Indianapolis, IN 46240
Tel: 317-805-1179
Fax: 317-805-1179
www.davepeltier.com



Schneider
THE SCHNEIDER CORPORATION
10000 N. Meridian Road
Suite 100
Indianapolis, IN 46240
Tel: 317-805-1179
Fax: 317-805-1179
www.schneidercorp.com
Civil Engineering
Architectural
Interior Design
Landscape Architecture
Transportation Engineering
Mechanical Services
Surveying
Geotechnical Services
Storm Water Services
Energy Services
Construction Management

SLATER FARMS
PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
5333 PRIORITY WAY WEST DR., (Suite 100), NOBLESVILLE, INDIANA 46240
HAMILTON COUNTY, NOBLESVILLE, INDIANA

DATE	07/14/2003
PROJECT NO.	
CLIENT	PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
LOCATION	NOBLESVILLE, INDIANA
SCALE	1"=100'
BY	DTP
CHECKED BY	
DATE	

PRELIMINARY DEVELOPMENT PLAN for SLATER FARMS NOBLESVILLE, INDIANA R1PD ZONING

DEVELOPER:

PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
15000 N. STATE STREET, SUITE 100
INDIANAPOLIS, IN 46240
317-805-1180
FAX 317-805-1179

OWNER:

PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
15000 N. STATE STREET, SUITE 100
INDIANAPOLIS, IN 46240
317-805-1180
FAX 317-805-1179



ASSUMED NORTH
SCALE: 1"=100'



David T. Peltier
Professional Engineer
No. 100073
State of Indiana
10000 N. STATE STREET, SUITE 100
INDIANAPOLIS, IN 46240
317-805-1180
FAX 317-805-1179
www.precidentdevelopment.com



Schneider
THE SCHNEIDER CORPORATION
10000 N. STATE STREET, SUITE 100
INDIANAPOLIS, IN 46240
317-805-1180
FAX 317-805-1179
www.schneidercorp.com

Architectural
Civil Engineering
Construction Management
Construction Services
Home Builder Services
Interior Design
Landscape Architecture
Landscape Engineering
Transportation Engineering

SLATER FARMS
HARRIS COUNTY, INDIANA
PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
10000 N. STATE STREET, SUITE 100, INDIANAPOLIS, IN 46240

DATE: 07/17/2003
PROJECT NO.: 0303
SHEET NO.: 103
SHEET TOTAL: 103
PROJECT TITLE: SLATER FARMS
PRELIMINARY DEVELOPMENT PLAN
FOR R1PD ZONING

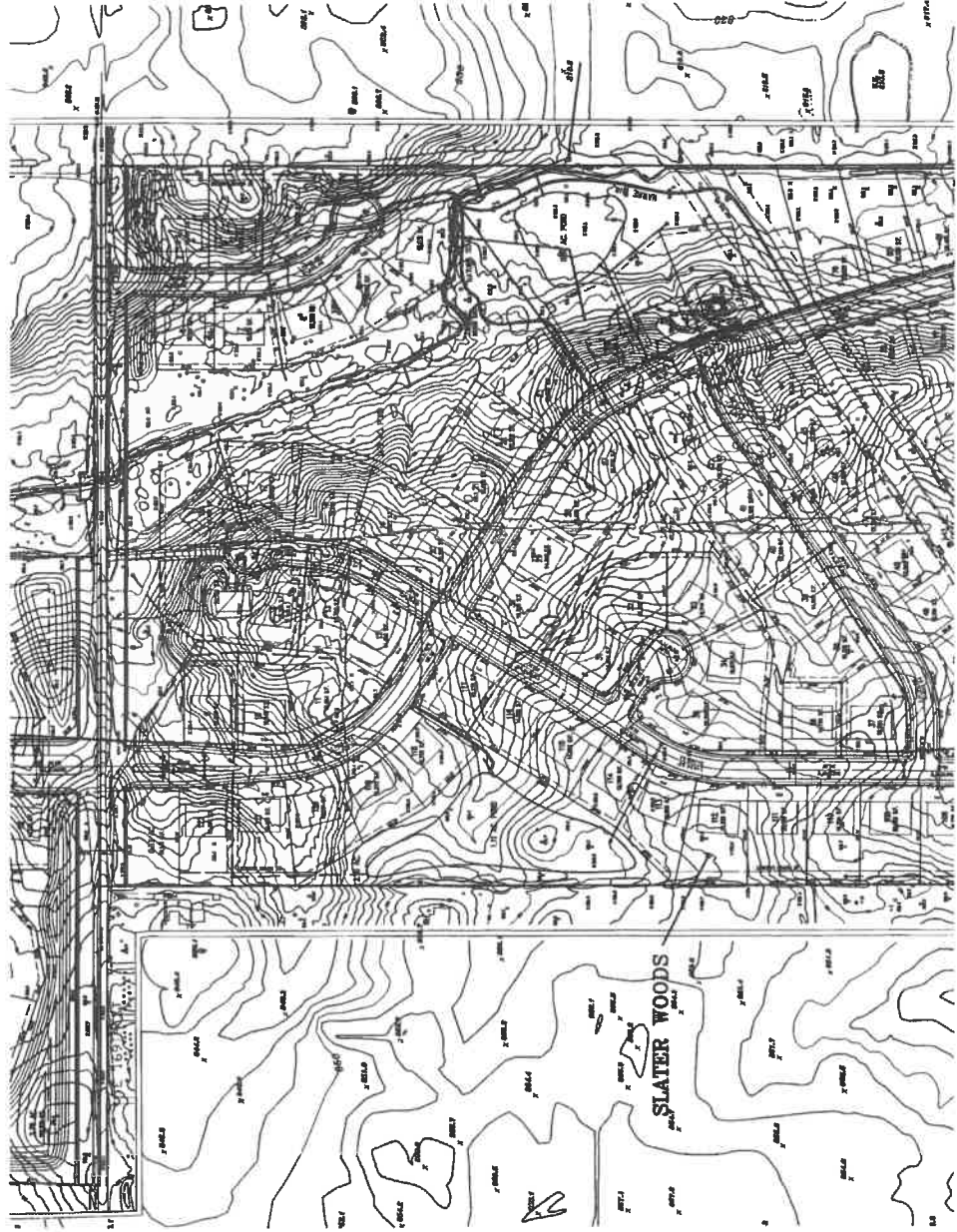
PRELIMINARY
DEVELOPMENT PLAN
for
SLATER FARMS
NOBLESVILLE, INDIANA
R1PD ZONING

DEVELOPER:

PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
9339 PRIORITY WAY WEST DRIVE, SUITE 100
INDIANAPOLIS, IN 46240
317-805-1180
FAX 317-805-1179

OWNER:

PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
9339 PRIORITY WAY WEST DRIVE, SUITE 100
INDIANAPOLIS, IN 46240
317-805-1180
FAX 317-805-1179



DATE: The findings and "C" rating, however, are in certain cases not in complete agreement with the actual performance of the school. This is due to the fact that the school is not in a position to provide a full range of services, and the school is not in a position to provide a full range of services.



THE SCHNEIDER CORPORATION
Historic Fort Harrison
6901 Oak Avenue
Indianapolis, IN 46218-1000
Telephone: 317.828.7100
Fax: 317.828.7300
www.schneidercorp.com

Architecture
Civil Engineering
Environmental Engineering
Geotechnical Services
GIS & LRS
Heavy Builder Services
Interior Design
Land Surveying
Landscape Architecture
Transportation Engineering

SLATER
FARMS
HAMILTON COUNTY, INDIANA

DATE	07/24/2003	PROJECT NO.	
DRAWN BY	TSC	CAD-DWG NO.	
<p>OVERALL FEELINGHART DEVELOPMENT PLAN</p>			
<p>SHEET NO. 1 OF 1</p>			

PRELIMINARY
DEVELOPMENT PLAN
for
SLATER FARMS
NOBLESVILLE, INDIANA
R1PD ZONING

DEVELOPER:

PRECEDENT RESIDENTIAL DEVELOPMENT, LLC
9339 PRIORITY WAY WEST DRIVE, SUITE 100
INDIANAPOLIS, IN 46240
317-803-1180
FAX 317-805-1179

OWNER:

PREDENT RESIDENTIAL DEVELOPMENT, LLC
9339 PRIORITY WAY WEST DRIVE, SUITE 100
INDIANAPOLIS, IN 46240
317-805-1180
FAX 317-805-1179



10412



THE SCHNEIDER CORPORATION
Historic Fort Harrison
8901 Old Avenue
Indianapolis, IN 46218-1037
Telephone 317.828.7100
Fax: 317.828.7300
www.schneidercorp.com

Architecture
Civil Engineering
Environmental Engineering
Geotechnical Services
GIS • LRS
Home Builder Services
Interior Design
Land Surveying
Landscape Architecture
Transportation Engineering

SLATER
FARMS
HAYMON COUNTY, MISSISSIPPI 39044

PROJECT NO.	07/74/2003
ORDERED BY	TSC
OVERALL, PRELIMINARY DEVELOPMENT PLAN	

105

Residential Development Standards Matrix

Slater Farms

Development Standards

Development Standards Matrix, Slater Farms Planned Development									
	Number of Units	Minimum Lot Width at Setback Line	Minimum Lot Area (sq. ft.)	Maximum Building Height	Minimum Setbacks			Minimum Home Size One Story	Minimum Home Size Two Story
					Front	Side	Rear		
Slater Run	86	80'	10,000	35 ft	25'	5' min. 15' Aggregate Side Yard Between Structures	25'	1,800 sq ft	2,200 sq ft
Slater Ridge	136	90'	11,700	35 ft	25'	5' min. 15' Aggregate Side Yard Between Structures	25'	2,000 sq ft	2,400 sq ft
Slater Woods	122	100'	13,500	35 ft	25'	5' min. 15' Aggregate Side Yard Between Structures	25'	2,200 sq ft	2,600 sq ft

Updated 8/27/03

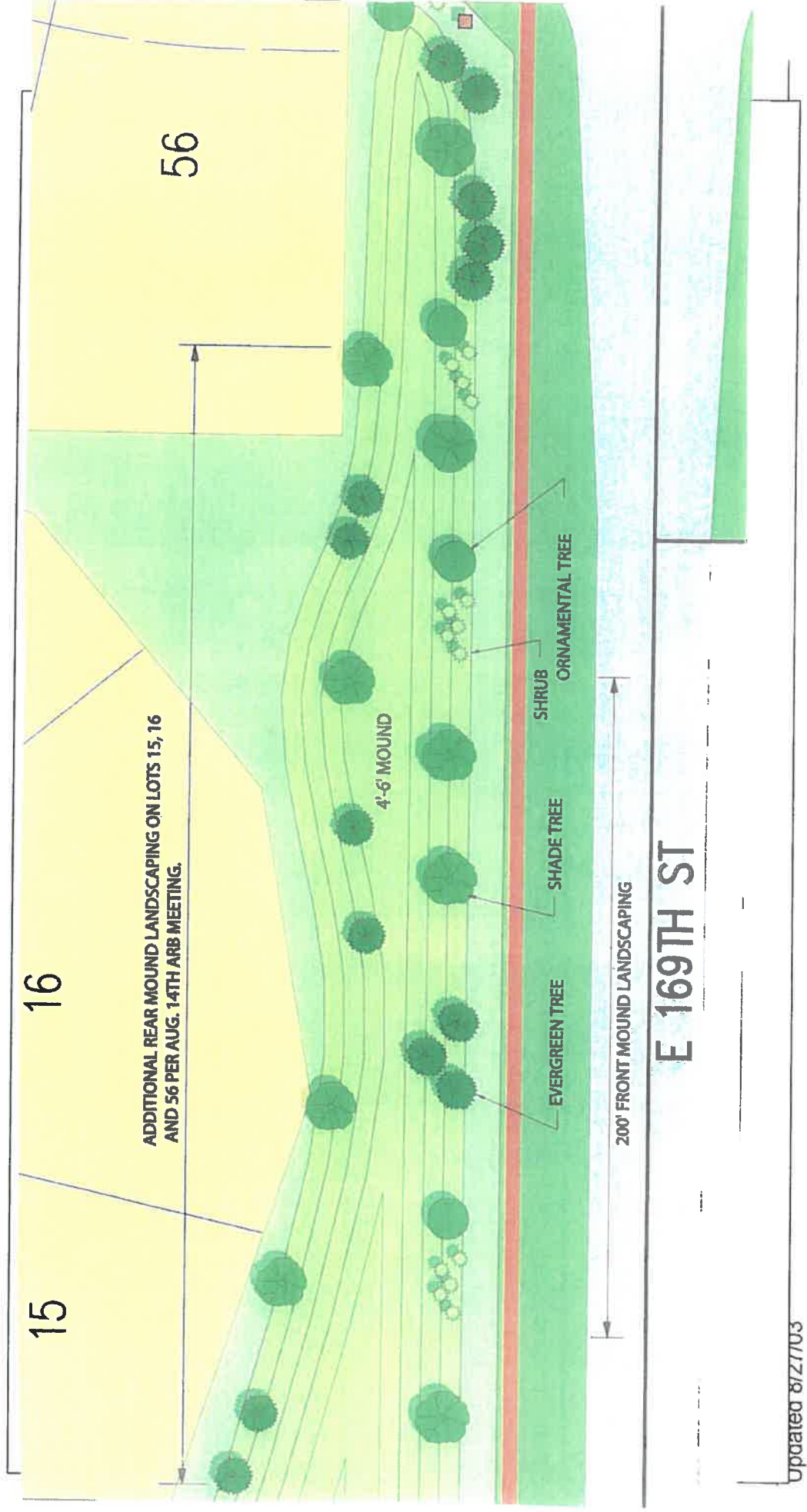
r:\slaterdocs\devstdrds.doc

Slater Farms

Development Standards

Landscape Buffer/Mound Detail 2: Slater Ridge 169th Street and Slater Woods

NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance.



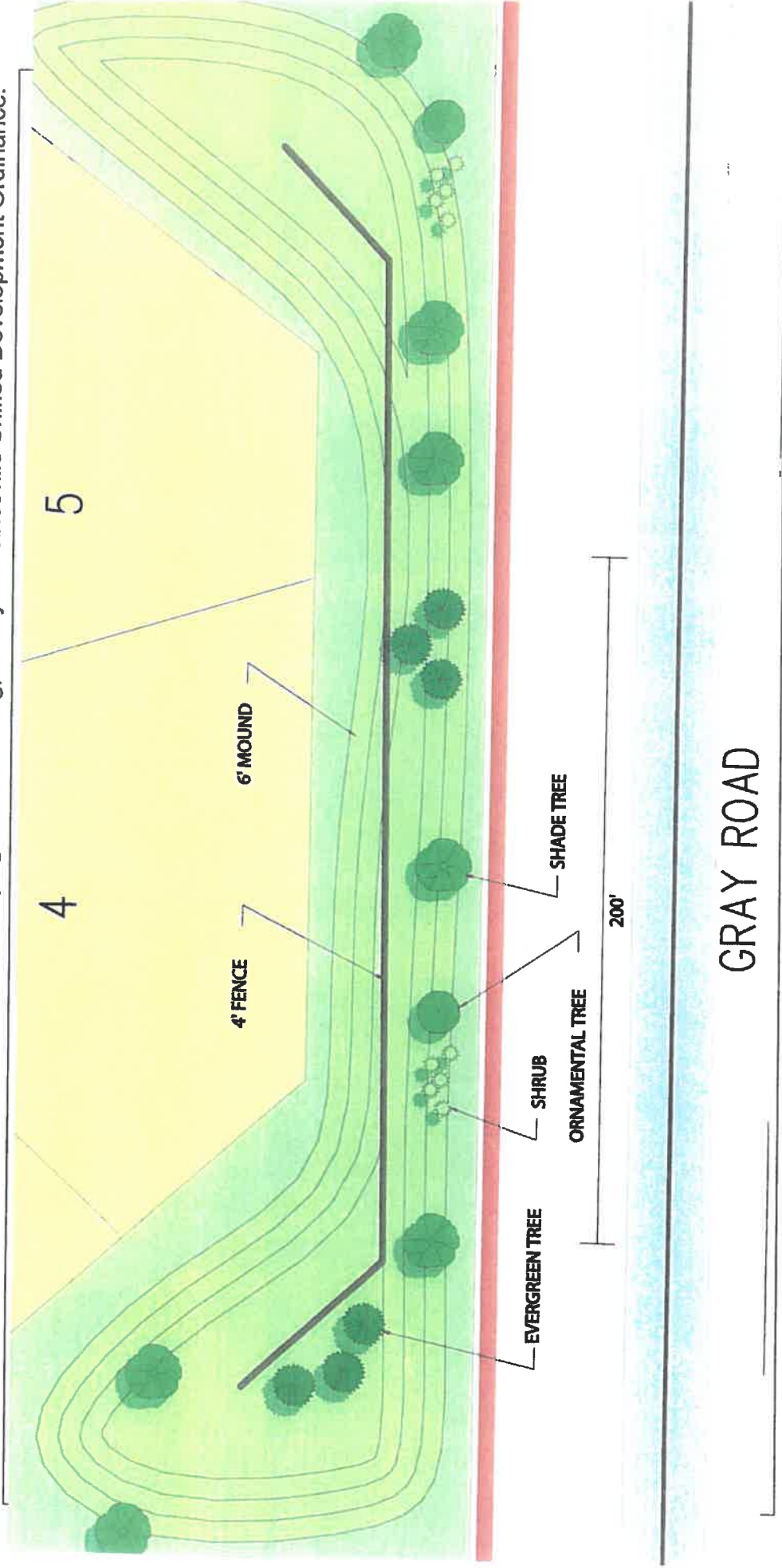
Updated 8/27/03

r:\slater\docs\devstndrds.doc

Landscape Mound/Fence Detail 3: Slater Ridge - Gray Road and Slater Run

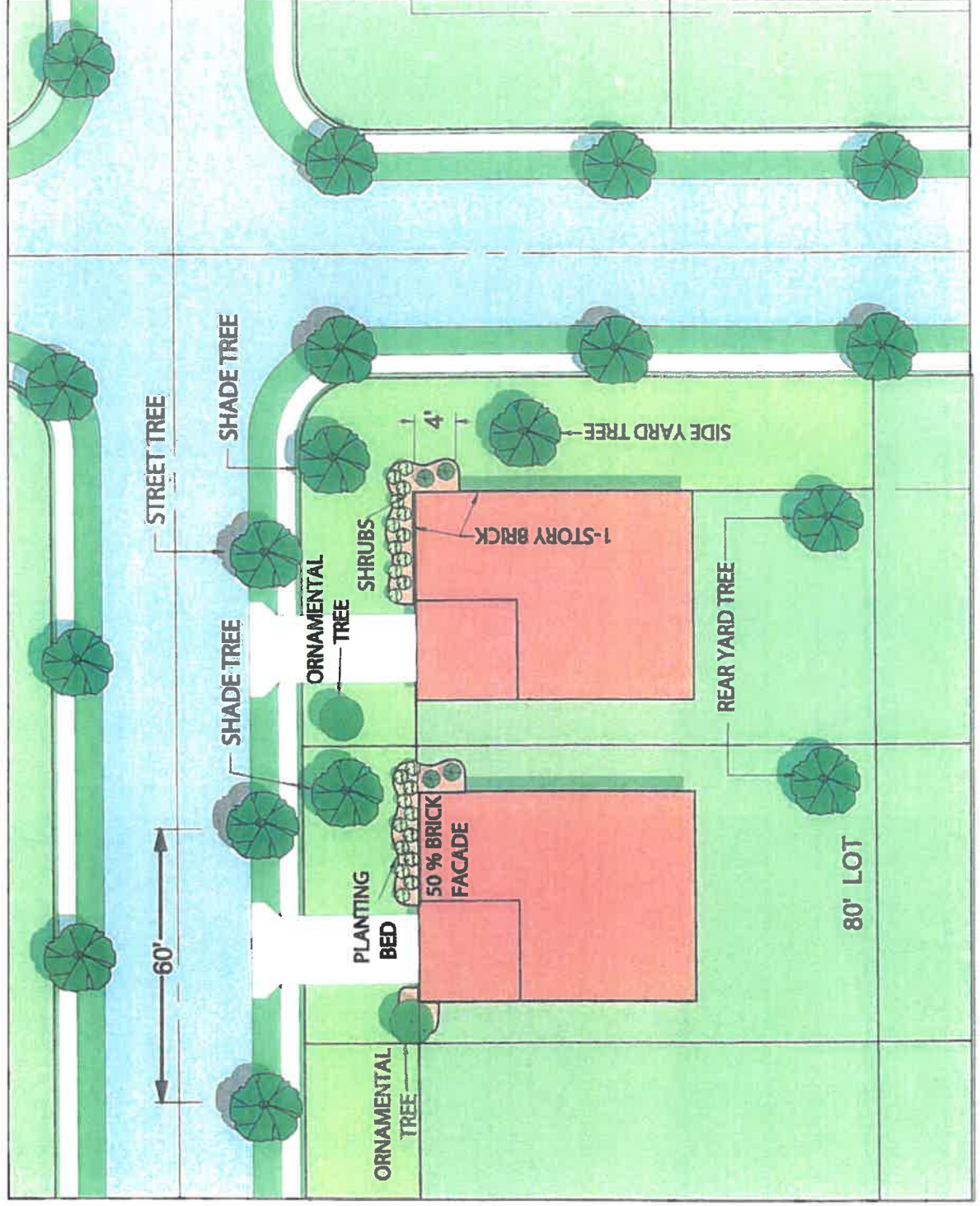
Slater Farms
Development Standards

NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance.



Updated 8/27/03

Typical Lot Landscaping Plan



Residential Common Area/Open Space

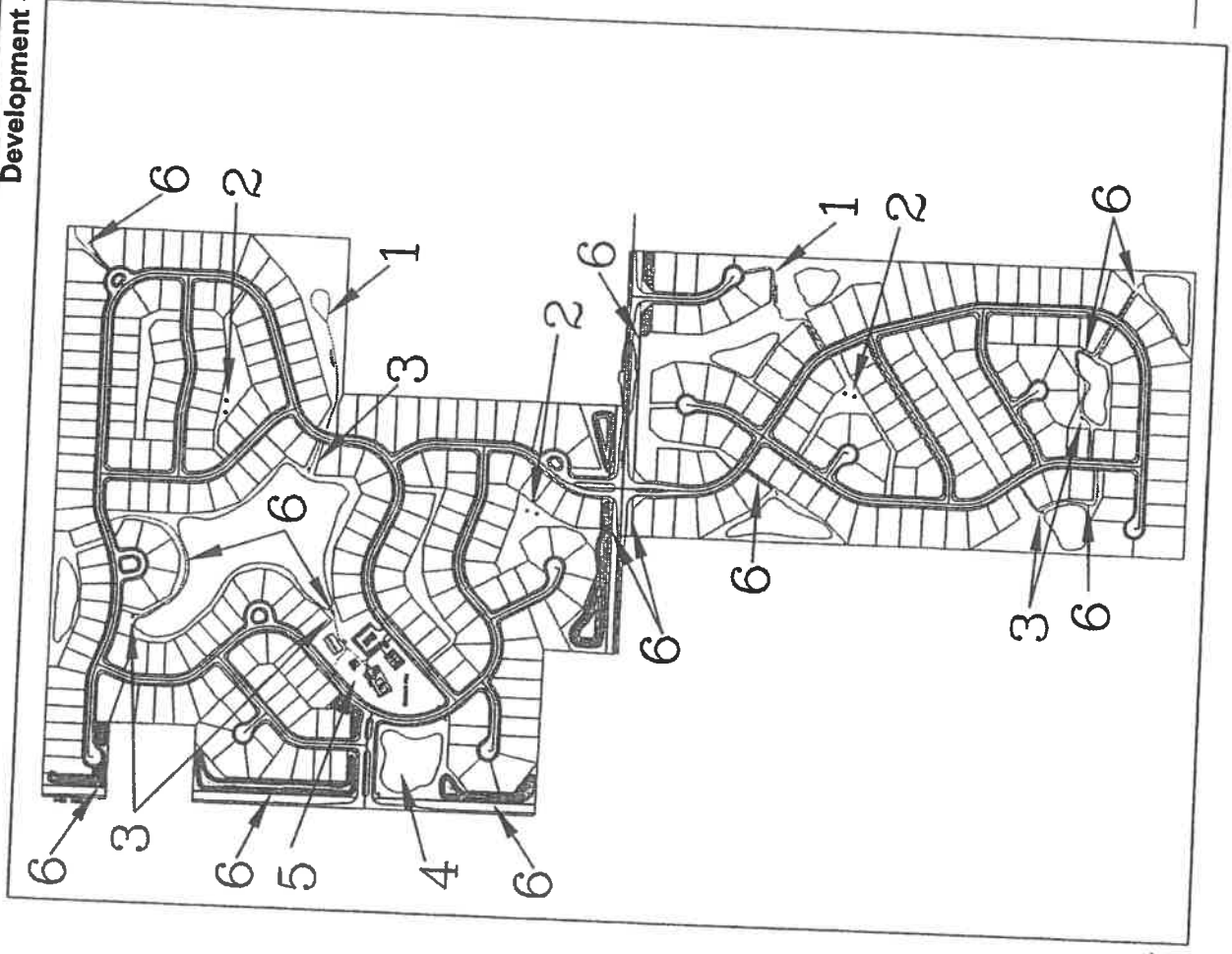
Slater Farms

Development Standards

Common Area/Open Space

- With the addition of the fountain, benches, picnic tables and landscaping that are incorporated with the common areas of Slater Farms, the acreage of the common areas are part of the usable open space for this Planned Development.

1. Nature Trail
2. Picnic Tables
3. Trails and benches
4. Fountain
5. Community Park
6. Fitness Walking Trail

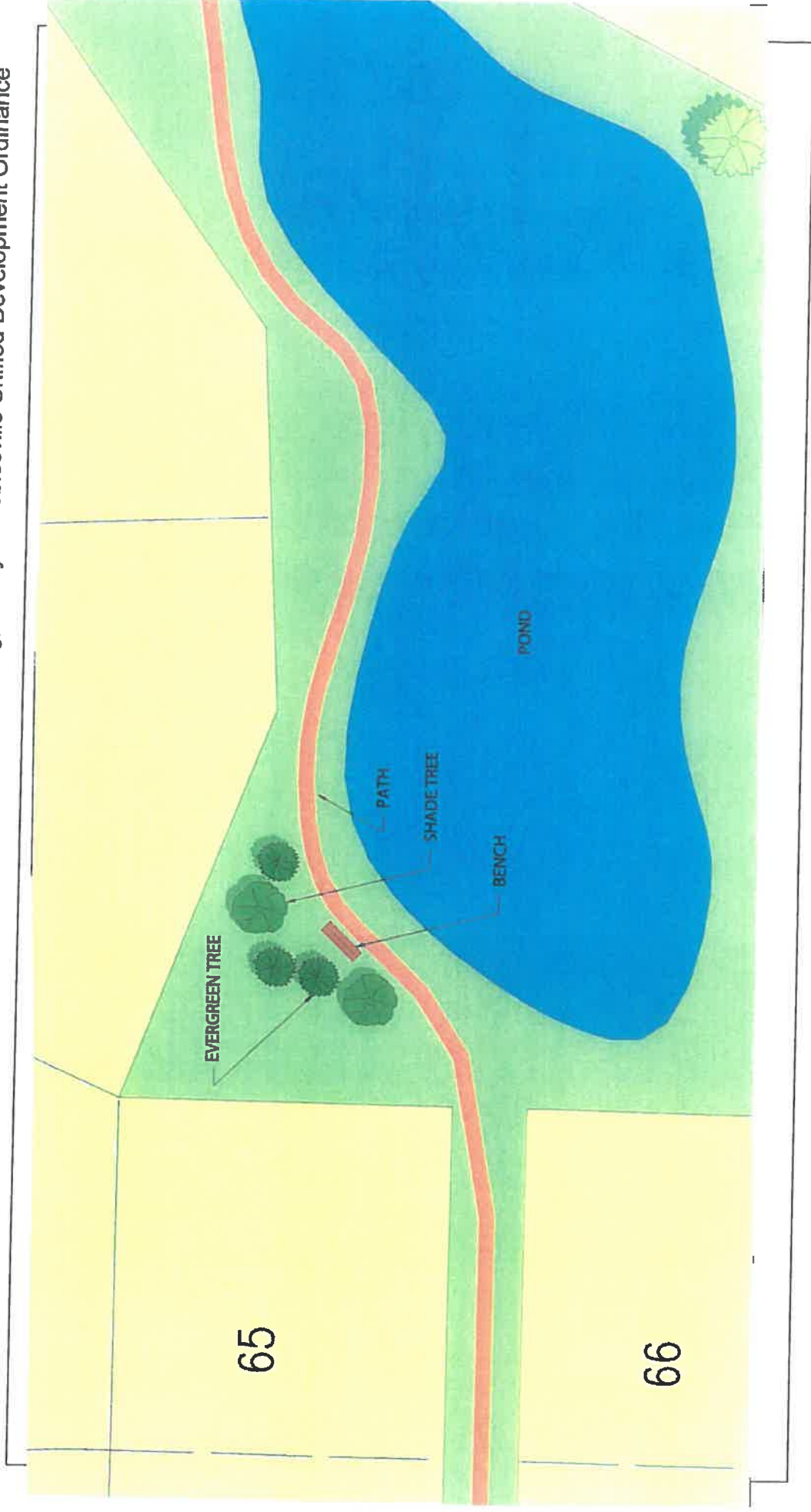


Updated 8/27/03

Landscape Common Area Detail 5: Common Area with Trails and Bench **Slater Farms**

Development Standards

NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance



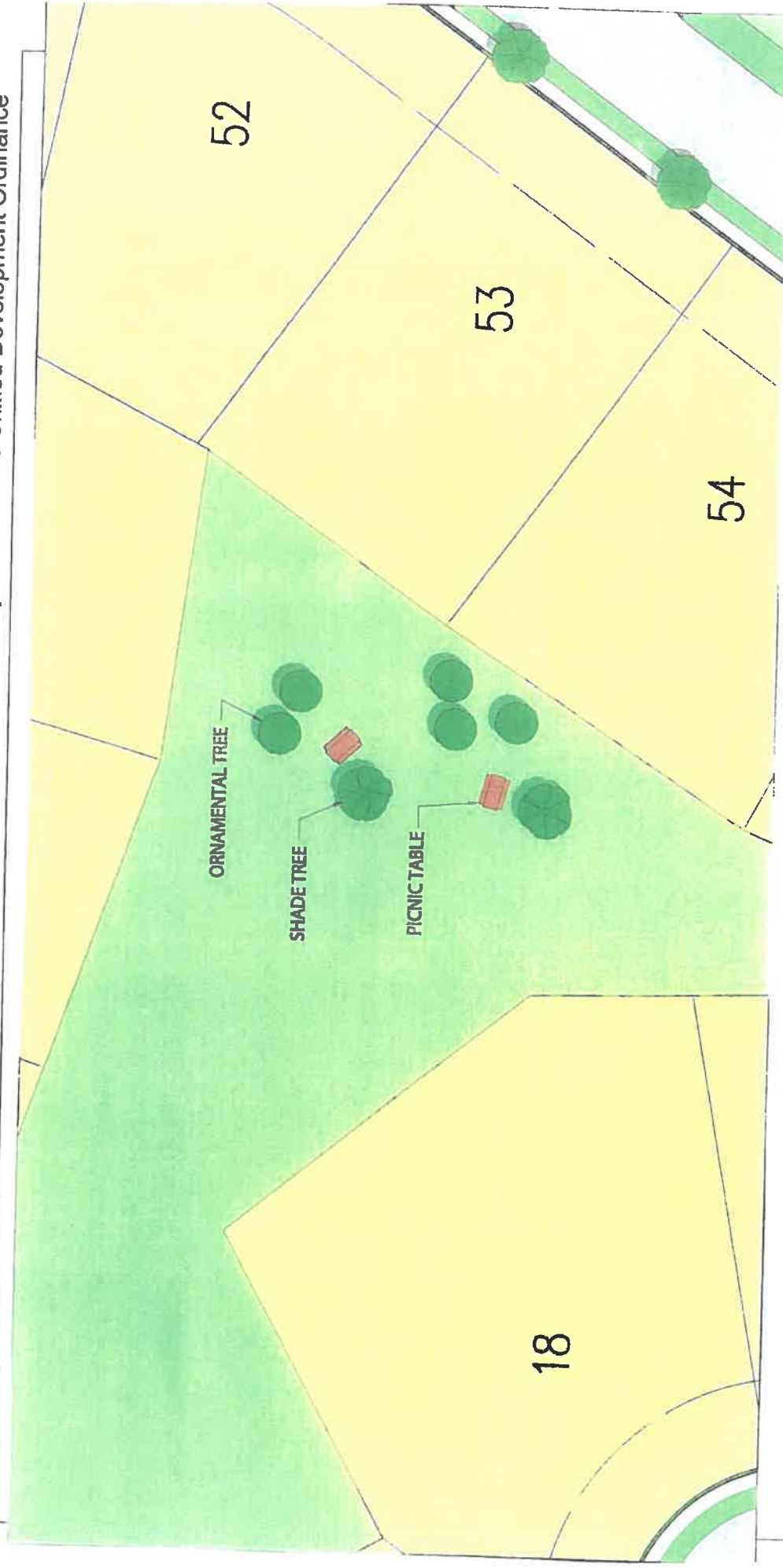
Updated 8/27/03

Landscape Common Area Detail 4: Common Area with Picnic Tables

Slater Farms

Development Standards

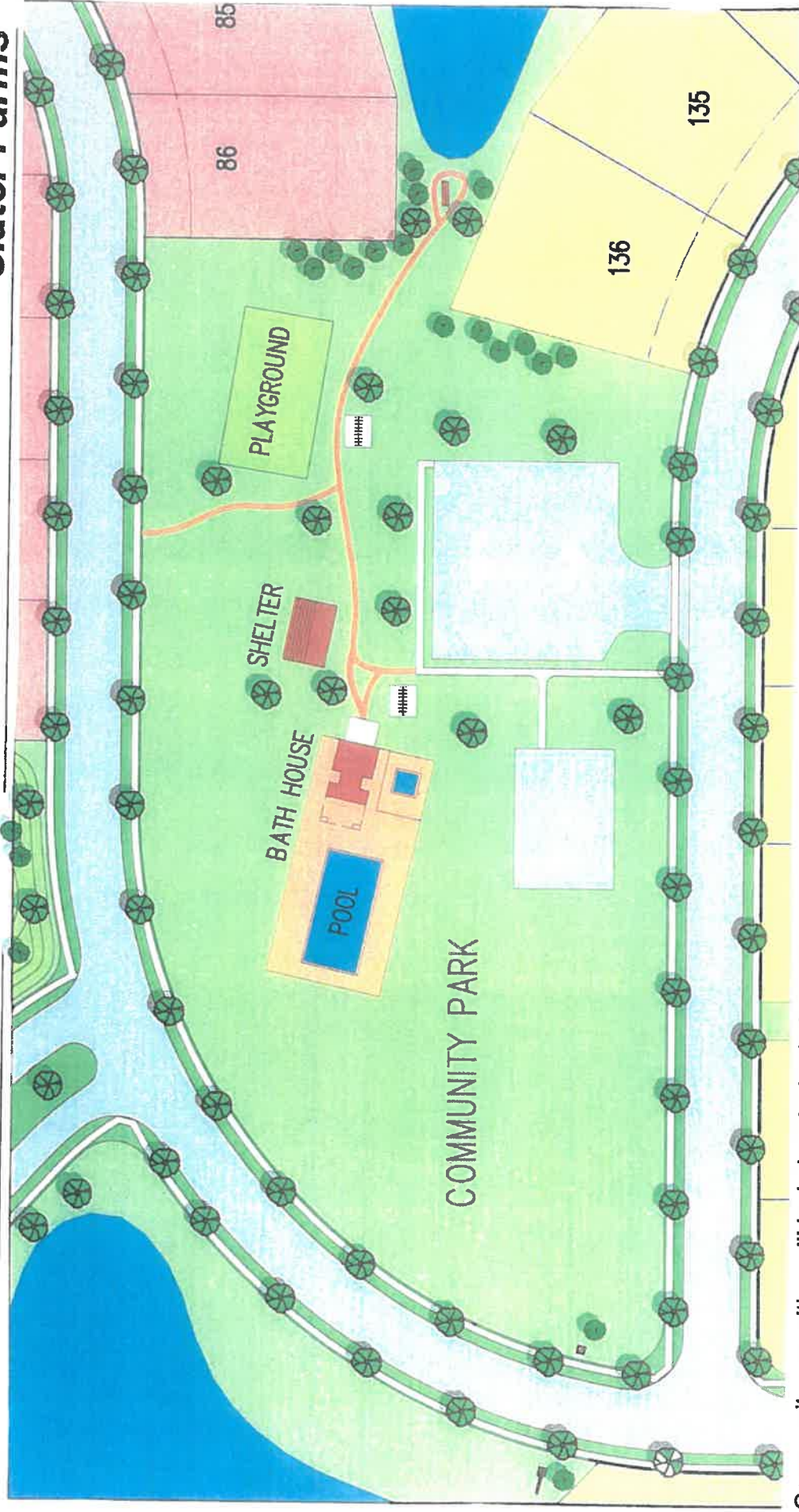
NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance



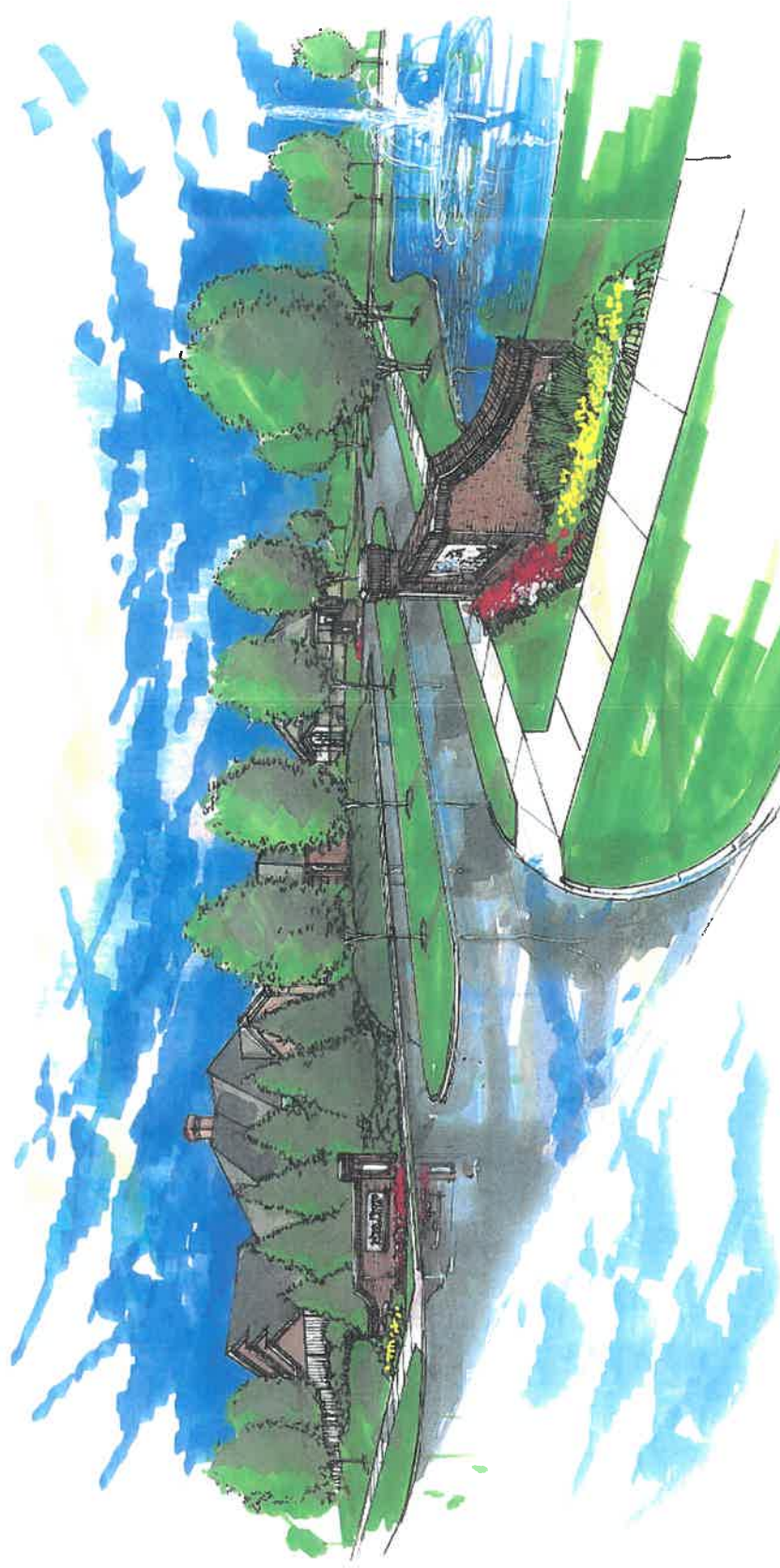
Updated 8/27/03

Community Park/Amenity Area

Slater Farms



Community amenities will include: picnic shelter with tables, hard surface basketball court, multi-use commercial playground, integrated community bike and jogging trail, a gated pool house with changing rooms, fenced swimming pool with concrete deck area and children's wading pool and parking area.






Slater Farms of Noblesville

A Precedent Development

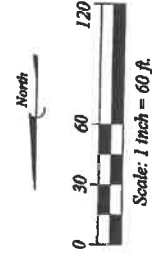
Slater Farms of Noblesville

A Precedent Development

Legend

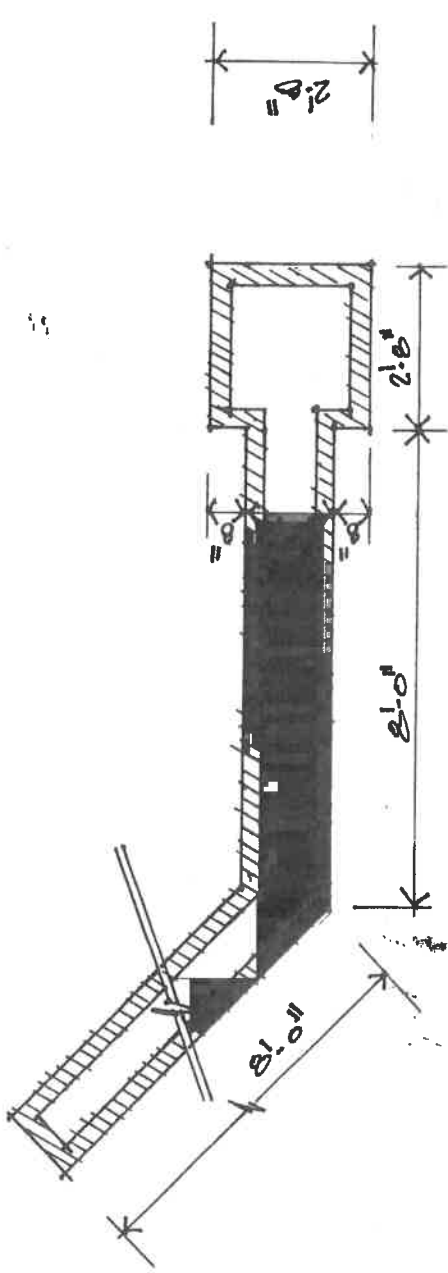
-  Shade Tree - Typical
Autumn Purple Ash,
Sugar Maple, Red Maple, etc.
-  Evergreen - Typical
Colorado Spruce,
Norway Spruce,
White Pine, etc.
-  Ornamental Tree - Typical
Shawdrift Crabapple,
Bradford Pear, etc.

All Plant Material to be from
City of Noblesville's
Approved Plant List

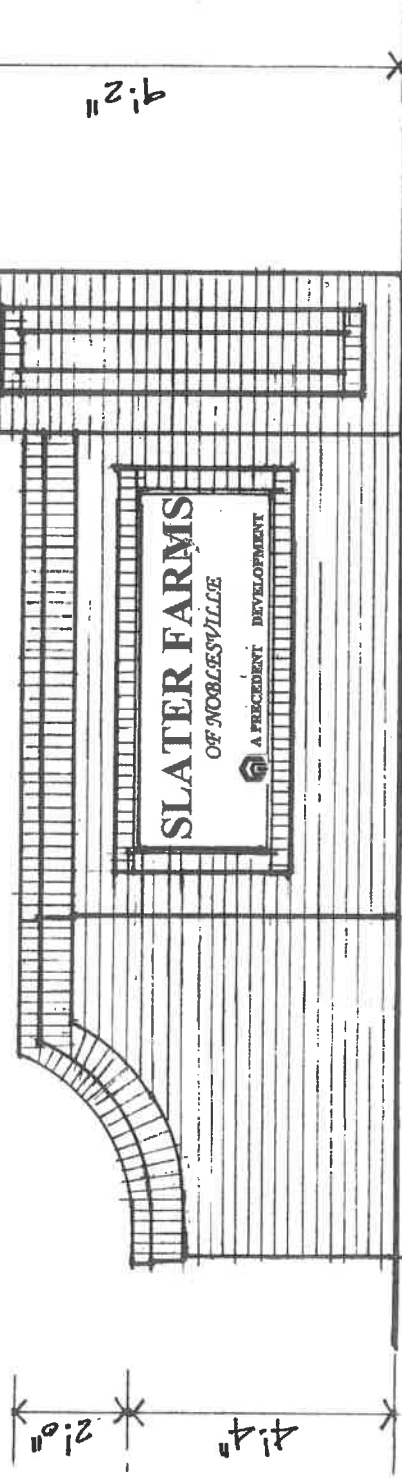


SLATER FARMS MASONRY ENTRANCE WALL

70-0-1-1



PLAN VIEW

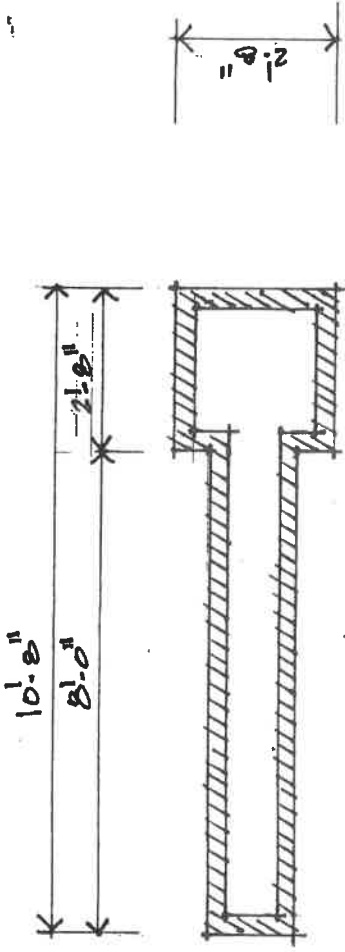


ELEVATION
SCALE 1/2" = 1'-0"

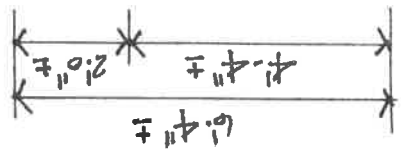
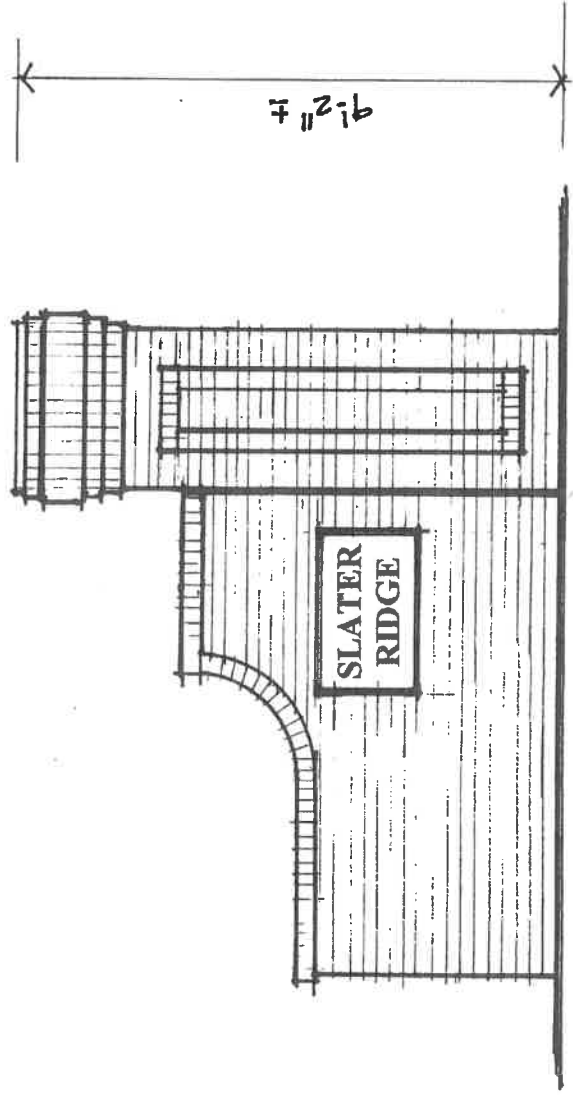
NOTE: DESIGN SUBJECT
TO CHANGE

9-16-03

SLATER FARMS MASONRY ENTRANCE WALL



PLAN VIEW

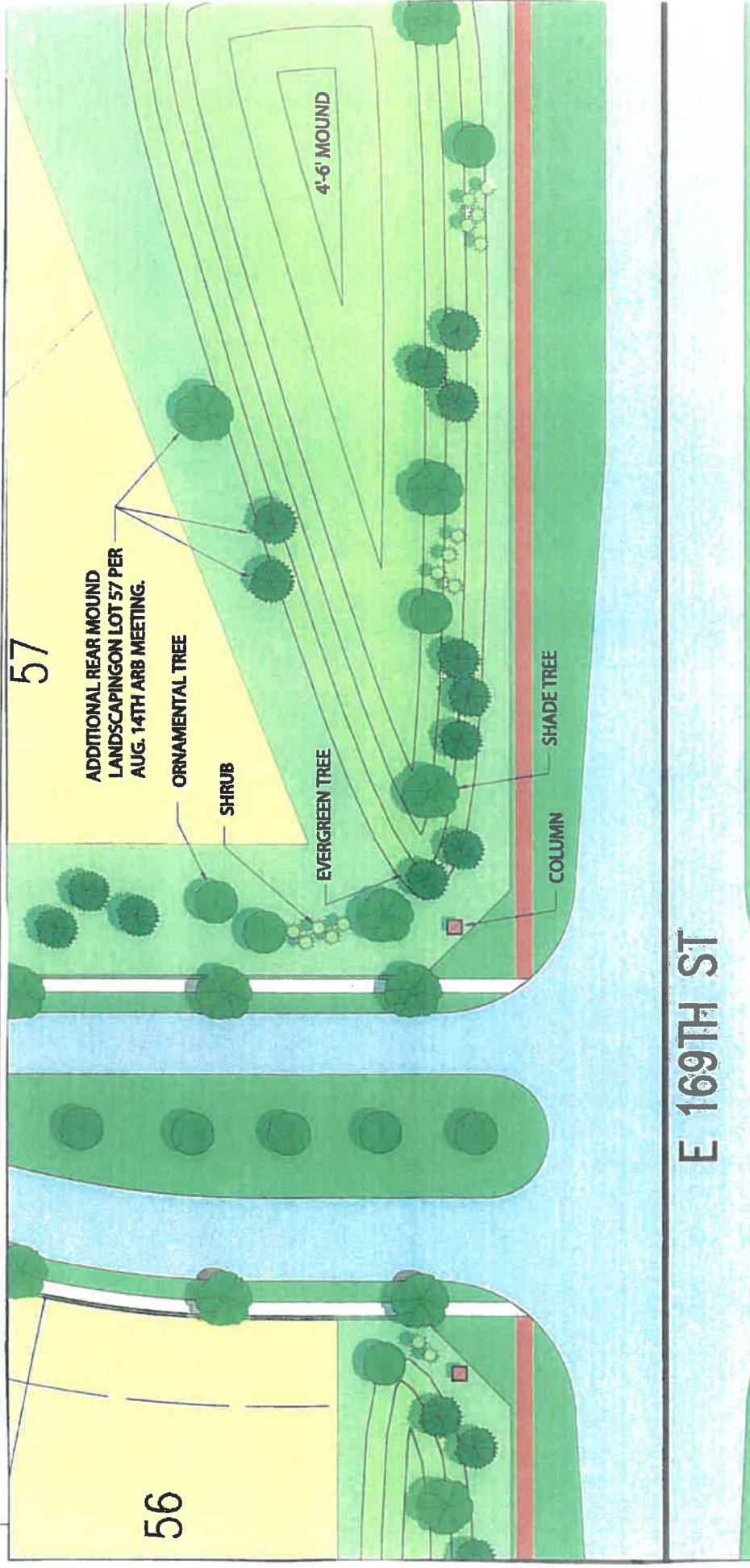


ELEVATION
SCALE 1/2" = 1'-0"

NOTE: DESIGN SUBJECT TO CHANGE

Landscape Detail 1: Typical Entrance Detail – Slater Ridge 169th Street Entrance & Slater Woods East Entrance

NOTE: All plant sizes are pursuant to Article 12, Landscaping and Screening, of City of Noblesville Unified Development Ordinance.



E 169TH ST

**Landscape Detail 6: Typical Entrance Detail - Slater Woods
West Entrance**

Slater Farms

Development Standards

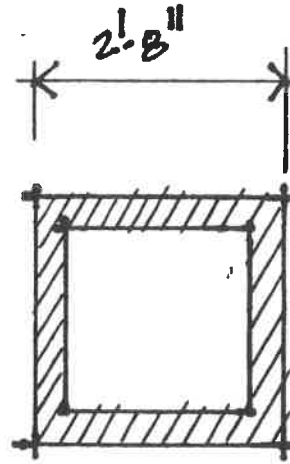


Updated 8/27/03

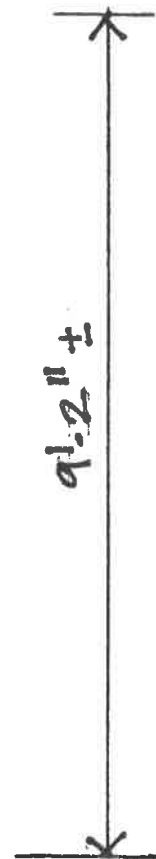
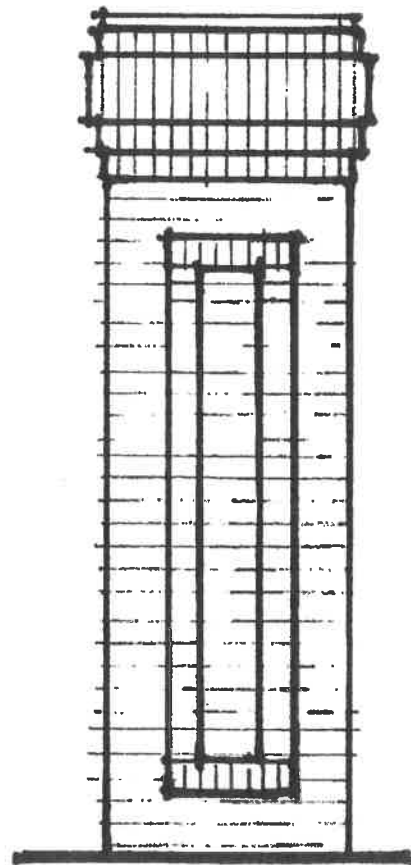
9-16-03

SLATER FARMS

MASONRY ENTRY PIER



PLAN VIEW



NOTE: PLAN SUBJECT
TO CHANGE

ELEVATION

SCALE 1/2" = 1'-0"

PROJECT SUMMARY	
TOTAL LOTS =	344
GROSS LOT DENSITY =	1.62 Lots per Acre±
NET LOT DENSITY =	1.76 Lots per Acre±
NET AREA = TOTAL AREA - EX. R/W - PONDS =	195.63 Acres±
POND AREA =	14.58 Acres±
EXISTING RIGHT OF WAY AREA =	1.66 Acres±
TOTAL COMMON OPEN SPACE AREA =	52.23 Acres±
OPEN SPACE =	24.65%
TOTAL AREAS =	211.87 Acres±

SLATER RUN

Architectural and Building Guidelines

1. Definitions:

- A. Ridgeline.** The intersection of two horizontal roof planes, or the angle formed by them, which form the peak of a pitched area.
- B. Historical Style.** Historical Architectural Styles are established by and shall mean and refer to such homes as (i) colonial homes, (ii) cape cod homes, (iii) craftsman homes, (iv) traditional farmhouse homes, (v) french country homes, or (vi) homes with various exterior architectural elements, taken from the foregoing, to create more recent versions of the foregoing.

The Department of Planning and Development of the City of Noblesville, Indiana (the "Department") shall have the authority to determine whether a specific house plan qualifies as a Historical Architectural Style entitled to the modification, in the manner specified in these guidelines, of the standards set forth in these guidelines. All house plans submitted for approval shall first be approved by Precedent prior to submission to the Department. The Department shall have the authority to approve a house plan as a Historical Architectural Style.

- C. Natural Materials.** Brick, wood, limestone or natural stone.
- D. Manmade Materials.** Composite wood material (LP siding), stucco, EIFS, cultured stone, concrete fiber board (Hardiplank or similar materials) or resin based products (fypon).
- E. Corner Lot.** A Lot having frontage on two (2) public streets.
- F. Lot.** A parcel of land designated as such upon the Plat (as hereinafter defined) upon which there is constructed one (1) single detached home.
- G. Front Facing Garage Doors.** A garage door that is parallel to the front elevation of the home.
- H. Corner Home.** A home that is constructed on a Corner Lot.
- I. Overhang.** The portion of the roof structure that extends beyond the exterior framing walls of a home.
- J. Masonry.** Brick, limestone, natural stone, cultural stone, stucco and EIFS or other similar building material or a combination of the same, bonded together with mortar to form a wall, buttress or similar mass.

- K. Plat. The subdivision plat or plats for the real estate commonly known as Slater Farms recorded with the Hamilton County Recorder.
2. **Minimum Square Footage:**
- A. One-story homes shall have a minimum area of 1,800 square feet.
 - B. Two-story homes shall have a minimum area of 2,200 square feet.
3. **Roof Ridgelines:**
- A. One-story homes, excluding Historical Style homes, shall have a minimum of three (3) Ridgelines; provided, however, that only two (2) Ridgelines are required if the exterior surface of the first floor of both (i) the front elevation and (ii) the two (2) side elevations are Masonry.
 - B. Two-story homes, excluding Historical Style homes, shall have a minimum of three (3) Ridgelines; provided, however, that only two (2) Ridgelines are required if the exterior surface of both (i) the first floor of the front elevation and (ii) the first floor of the two (2) side elevations are Masonry.
 - C. Historical Style homes shall have a minimum of two (2) Ridgelines.
 - D. Enclosed porches shall count as a Ridgeline. Unenclosed, covered porches shall not count as a Ridgeline unless the roof extends to the main roofline of the home.
4. **Roof Pitch:**
- A. The roofline along the front elevation to the roofline along the back elevation (front to back) shall have a pitch ratio of five (5) feet vertical to twelve (12) feet horizontal.
 - B. The roofline of gables located on and parallel to the front elevation shall have a pitch ratio of eight (8) feet vertical to twelve (12) feet horizontal.
 - C. Ancillary roofs such as porches, bays or walkways may possess a lower pitch ratio than the minimum requirements set forth above.
5. **Roof Overhangs:**
- A. Each home shall have a minimum twelve (12) inch framed Overhang for all elevations. Where Masonry meets any Overhang, the Overhang shall measure a minimum of eight (8) inches.
6. **Corner Breaks:**
- A. Each home shall have a minimum of three (3) corner breaks on the front and rear façades. The exterior corners of a covered porch, the outermost corners of the home, and the exterior corners of any projection with a height of no less than six (6) feet shall count toward this requirement.

7. Equipment Vents:

- A. All vents shall attach to the rear elevation or side elevation of the home to reduce visibility from the street.

8. Foundations:

- A. Slab foundations are not permitted.
- B. Exposed concrete or block foundations are limited to four (4) inches or the minimum required by the applicable building code or siding manufacturer's specifications, whichever is greater.

9. Windows:

- A. Window types shall be vinyl, vinyl clad, aluminum clad or wood.
- B. A one-story home shall have a minimum of four (4) windows on the front elevation and a minimum of four (4) windows on the rear elevation. Side elevations require a minimum of one (1) window per elevation.
- C. A two-story home shall have a minimum of six (6) windows on the front elevation and a minimum of six (6) windows on the rear elevation. Side elevations require a minimum of one (1) window per elevation.
- D. All windows shall have either shutters and/or architectural treatment, unless such treatment is not consistent with the Historical Style of a home. For windows located in a elevation having an exterior surface constructed of Masonry, the treatment shall be of Natural Materials and shall be applied, at a minimum, to the sill and header. For windows located in a elevation not having an exterior surface constructed of Masonry, the treatment shall be constructed of one of the Natural Materials and shall be applied to the sill, header and jams. The width of the architectural treatment shall be a minimum of one-half ($\frac{1}{2}$) the width of the vertical reveal dimension of the siding material.
- E. Except for bathroom windows, utility room windows or windows located directly above a kitchen sink, any of the following shall constitute one (1) window for purposes of calculating the number of windows required on each elevation:
 - 1. A double hung window with a framed opening having a minimum area of eight (8) square feet, and
 - 2. Each casement window where the glass is enclosed by vinyl, wood or a clad material frame having a framed opening with a minimum area of eight (8) square feet.

- F. For purposes of calculating the number of windows required in each elevation, a framed opening having a minimum area of six (6) square feet shall constitute one (1) window (i) in each bathroom, (ii) in each utility room, or (iii) when the window is directly above a kitchen sink.

10. Porches:

- A. One (1) front landing, stoop or porch is required on all homes, unless inconsistent with a Historical Style home. A landing, stoop or porch shall possess a minimum area of thirty (30) square feet.

11. Garages:

- A. Garages with Front Facing Garage Doors must be on a separate plane from the main body of the home; the Front Facing Garage Doors must be recessed or projected from the main house plane a minimum of two (2) feet and a maximum of twelve (12) feet.
- B. Except in the case of single story homes containing a 3-car garage, the area of the garage doors on single story homes with Front Facing Garage Doors shall be a maximum of thirty-three (33) percent of the total area of the front elevation, including the garage door as a part of the total area of the front elevation.
- C. Except in the case of two story homes containing a 3-car garage, the area of the garage doors on two story homes with Front Facing Garage Doors shall be a maximum of twenty (20) percent of the total area of the front elevation, including the garage door as a part of the total area of the front elevation.

12. Materials:

- A. Manmade Materials are intended to simulate the appearance of a Natural Material.
- B. Manmade Materials are acceptable replacements of Natural Materials and are approved to satisfy the Natural Materials requirements of these standards.
- C. Vinyl siding shall not be permitted.

13. Masonry Requirements:

- A. Masonry is required on fifty (50) percent of the front elevation of a home, not including windows, doors and garage doors. Up to thirty (30) percent of the homes may have this requirement modified for approved Historical Styles.
- B. All Corner Homes which have two (2) elevations substantially parallel to a public street shall have Masonry on the first floor exterior of the two (2) elevations of the home closest to the public street; provided, however, that if first floor Masonry is inconsistent with the Historical Style of the home, then first floor Masonry is not required.

- C. All Corner Homes which are set at an angle to the public streets, lacking an elevation substantially parallel to any abutting public street, shall have a first floor exterior surface constructed of Masonry on the front elevation only; provided, however, that if first floor Masonry is inconsistent with the Historical Style of the home, then first floor Masonry is not required.

14. Landscaping:

- A. All Corner Homes which have two (2) elevations substantially parallel to a public street shall have lawns comprised of (i) sod without irrigation or (ii) seed with irrigation (no straw) in that portion of the yard located between the public street on each side of the Corner Lot and a line drawn parallel to each elevation closest to the public street extending from each end of said elevations to each perpendicular Lot line. All other side yards and rear yards must be seeded with straw as a minimum, and no irrigation required.
- B. All Corner Homes which are set at an angle to the public streets, lacking an elevation substantially parallel to either abutting public street, shall have lawns comprised of (i) sod without irrigation or (ii) seed with irrigation (no straw) in that portion of the yard located (i) between the front elevation of the home and each public street, and (ii) between the public street on each side of the Corner Lot and a line drawn parallel to each public street, extending to each perpendicular Lot line from the two (2) exterior corners of the home closest to each abutting public street. All other side yards and rear yards must be seeded with straw as a minimum, and no irrigation required.
- C. All homes which are not Corner Homes shall have lawns comprised of (i) sod without irrigation or (ii) seed with irrigation (no straw) in all front yards. All side yards and rear yards must be seeded with straw as a minimum, and no irrigation required.
- D. Front Landscaping shall consist of a minimum of:
 - 1. Twelve (12) shrubs of eighteen (18) inches to twenty-four (24) inches height or width;
 - 2. One (1) yard tree of two and one half (2 ½) inch caliper minimum outside planted bed; and
 - 3. One (1) ornamental tree of two and one half (2 ½) inch caliper or eight (8) foot height (multi-trunk) minimum within or outside planting bed.
- E. Except on the side elevation of a home that contains a side load garage, each side yard of the home must contain a minimum four (4) foot long and two (2) foot wide planting bed including a minimum of two (2) eighteen (18) inch to twenty-four (24) inch shrubs in each bed.

- F. Each home shall have one (1) tree with a two and one half (2 ½) inch caliper minimum in the rear yard. Any previously existing tree having a two and one half (2 ½) inch caliper shall count toward this requirement.
- G. Street trees shall be installed as per the requirements of the City of Noblesville, Indiana.
- H. All Corner Homes shall have one (1) shade tree with a two and one half (2 ½) inch caliper minimum in the side yard closest to the public street.

15. Miscellaneous:

- A. All plans and exterior colors must be approved by Precedent and the Department prior to beginning construction.
- B. All driveways shall be concrete; asphalt is not permitted.
- C. Public sidewalks are required on all Lots.
- D. Uniform yard lights and mailboxes shall be required by Precedent Residential Development.
- E. Exterior address stones or decorative plaques are required.
- F. Basements and crawl space foundations are permitted; however, no slab foundations are allowed.
- G. Exterior fireplaces located on the front elevation or side elevations of a home must be constructed of Masonry. Exterior fireplaces located on the rear elevation of a home shall be constructed of Masonry or Natural Materials. Interior fireplaces protruding through the roof, not on an exterior elevation of a home, are not required to be constructed of Masonry, but must be constructed of Natural Materials.
- H. Like model homes with identical front elevations shall be separated by at least one Lot and shall not be directly across the street from each other. For purposes of this determination, (i) any particular residence shall have only one residence across from it, and (ii) any two residences which are directly across from each other shall be the two residences which, if not separated by a street, would have the greatest area of overlapping front elevations.
- I. Dumpsters and or trash bins are required on all Lots once framing begins.







SLATER RIDGE

Architectural and Building Guidelines

1. Definitions:

- A. Ridgeline. The intersection of two horizontal roof planes, or the angle formed by them, which form the peak of a pitched area.
- B. Historical Style. Historical Architectural Styles are established by and shall mean and refer to such homes as (i) colonial homes, (ii) cape cod homes, (iii) craftsman homes, (iv) traditional farmhouse homes, (v) french country homes, or (vi) homes with various exterior architectural elements, taken from the foregoing, to create more recent versions of the foregoing.

The Department of Planning and Development of the City of Noblesville, Indiana (the "Department") shall have the authority to determine whether a specific house plan qualifies as a Historical Architectural Style entitled to the modification, in the manner specified in these guidelines, of the standards set forth in these guidelines. All house plans submitted for approval shall first be approved by Precedent prior to submission to the Department. The Department shall have the authority to approve a house plan as a Historical Architectural Style.

- C. Natural Materials. Brick, wood, limestone or natural stone.
- D. Manmade Materials. Composite wood material (LP siding), stucco, EIFS, cultured stone, concrete fiber board (Hardiplank or similar materials) or resin based products (fypon).
- E. Corner Lot. A Lot having frontage on two (2) public streets.
- F. Lot. A parcel of land designated as such upon the Plat (as hereinafter defined) upon which there is constructed one (1) single detached home.
- G. Front Facing Garage Doors. A garage door that is parallel to the front elevation of the home.
- H. Corner Home. A home that is constructed on a Corner Lot.
- I. Overhang. The portion of the roof structure that extends beyond the exterior framing walls of a home.
- J. Masonry. Brick, limestone, natural stone, cultural stone, stucco and EIFS or other similar building material or a combination of the same, bonded together with mortar to form a wall, buttress or similar mass.

K. Plat. The subdivision plat or plats for the real estate commonly known as Slater Farms recorded with the Hamilton County Recorder.

2. **Minimum Square Footage:**

A. One-story homes shall have a minimum area of 2,000 square feet.

B. Two-story homes shall have a minimum area of 2,400 square feet.

3. **Roof Ridgelines:**

A. One-story homes, excluding Historical Style homes, shall have a minimum of three (3) Ridgelines; provided, however, that only two (2) Ridgelines are required if the exterior surface of the first floor of both (i) the front elevation and (ii) the two (2) side elevations are Masonry.

B. Two-story homes, excluding Historical Style homes, shall have a minimum of three (3) Ridgelines; provided, however, that only two (2) Ridgelines are required if both (i) the exterior surface of the first floor of the front elevation and (ii) the exterior surface of the first floor of the two (2) side elevations are Masonry.

C. Historical Style homes shall have a minimum of two (2) Ridgelines.

D. Enclosed porches shall count as a Ridgeline. Unenclosed, covered porches shall not count as a Ridgeline unless the roof extends to the main roofline of the home.

4. **Roof Pitch:**

A. The roofline along the front elevation to the roofline along the back elevation (front to back) shall have a pitch ratio of seven (7) feet vertical to twelve (12) feet horizontal.

B. The roofline of gables located on and parallel to the front elevation shall have a pitch ratio of ten (10) feet vertical to twelve (12) feet horizontal.

C. Ancillary roofs such as porches, bays or walkways may possess a lower pitch ratio than the minimum requirements set forth above.

5. **Roof Overhangs:**

A. Each home shall have a minimum twelve (12) inch framed Overhang for all elevations. Where Masonry meets any Overhang, the Overhang shall measure a minimum of eight (8) inches.

6. **Corner Breaks:**

A. Each home shall have a minimum of three (3) corner breaks on the front and rear façades. The exterior corners of a covered porch, the outermost corners of the home, and the exterior corners of any projection with a height of no less than six (6) feet shall count toward this requirement.

7. Equipment Vents:

- A. All vents shall attach to the rear elevation or side elevation of the home to reduce visibility from the street.

8. Foundations:

- A. Slab foundations are not permitted.
- B. Exposed concrete or block foundations are limited to four (4) inches or the minimum required by the applicable building code or siding manufacturer's specifications, whichever is greater.

9. Windows:

- A. Window types shall be vinyl clad, aluminum clad or wood.
- B. A one-story home shall have a minimum of four (4) windows on the front elevation and a minimum of four (4) windows on the rear elevation. Side elevations require a minimum of one (1) window per elevation.
- C. A two-story home shall have a minimum of six (6) windows on the front elevation and a minimum of six (6) windows on the rear elevation. Side elevations require a minimum of two (2) windows per elevation.
- D. All windows shall have either shutters and/or architectural treatment, unless such treatment is not consistent with the Historical Style of a home. For windows located in an elevation having an exterior surface constructed of Masonry, the treatment shall be of Natural Materials and shall be applied, at a minimum, to the sill and header. For windows located in a elevation not having an exterior surface constructed of Masonry, the treatment shall be constructed of one of the Natural Materials and shall be applied to the sill, header and jams. The width of the architectural treatment shall be a minimum of one-half (½) the width of the vertical reveal dimension of the siding material.
- E. Except for bathroom windows, utility room windows or windows located directly above a kitchen sink, any of the following shall constitute one (1) window for purposes of calculating the number of windows required on each elevation:
1. A double hung window with a framed opening having a minimum area of eight (8) square feet, and
 2. Each casement window where the glass is enclosed by wood or a clad material frame having a framed opening with a minimum area of eight (8) square feet.
- F. For purposes of calculating the number of windows required in each elevation, a framed opening having a minimum area of six (6) square feet shall constitute one

(1) window (i) in each bathroom, (ii) in each utility room, or (iii) when the window is located directly above a kitchen sink.

- G. For purposes and calculating the number of windows required in each elevation, a fixed pane glass window having a minimum area of sixteen (16) square feet shall be counted as two (2) windows.

10. Porches:

- A. One (1) front landing, stoop or porch is required on all homes, unless inconsistent with a Historical Style home. A landing, stoop or porch shall possess a minimum area of thirty (30) square feet.

11. Garages:

- A. Garages with Front Facing Garage Doors must be on a separate plane from the main body of the home; the Front Facing Garage Doors must be recessed or projected from the main house plane a minimum of four (4) feet and a maximum of twelve (12) feet.
- B. Except in the case of single story homes containing a 3-car garage, the area of the garage doors on single story homes with Front Facing Garage Doors shall be a maximum of thirty-three (33) percent of the total area of the front elevation, including the garage door as a part of the total area of the front elevation.
- C. Except in the case of two story homes containing a 3-car garage, the area of the garage doors on two story homes with Front Facing Garage Doors shall be a maximum of twenty (20) percent of the total area of the front elevation, including the garage door as a part of the total area of the front elevation.

12. Materials:

- A. Manmade Materials are intended to simulate the appearance of a Natural Material.
- B. Manmade Materials are acceptable replacements of Natural Materials and are approved to satisfy the Natural Materials requirements of these standards.
- C. Vinyl siding shall not be permitted.

13. Masonry Requirements:

- A. Masonry is required on the first floor exterior surface of the front elevation and both side elevations of a home. Up to thirty (30) percent of the homes may have this requirement modified for approved Historical Styles.
- B. Any homes for which (i) the rear elevation faces 169th Street and (ii) no other homes exist between it and 169th Street shall have masonry on the rear first floor elevation.

14. Landscaping:

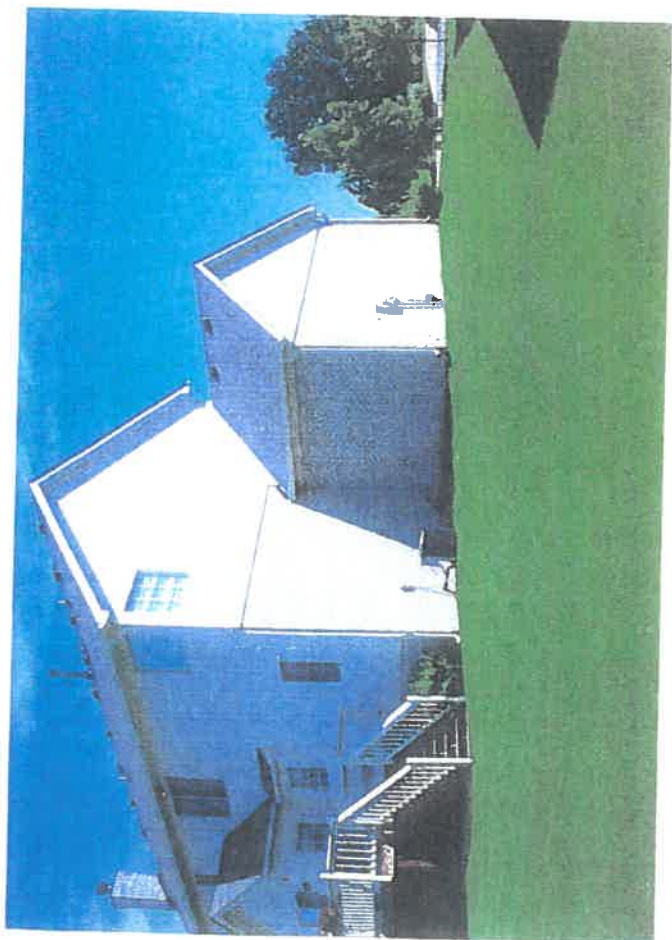
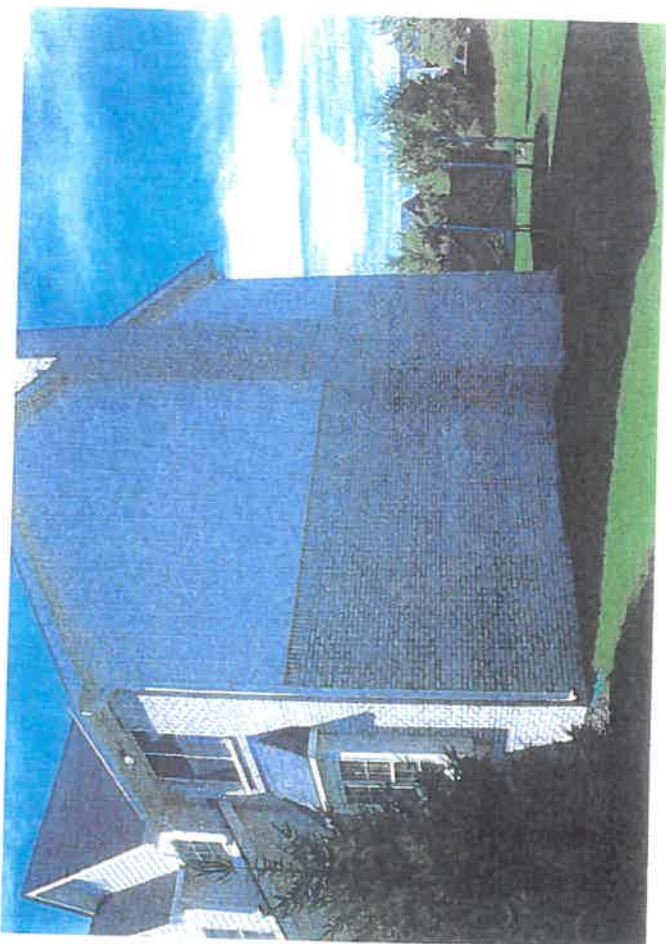
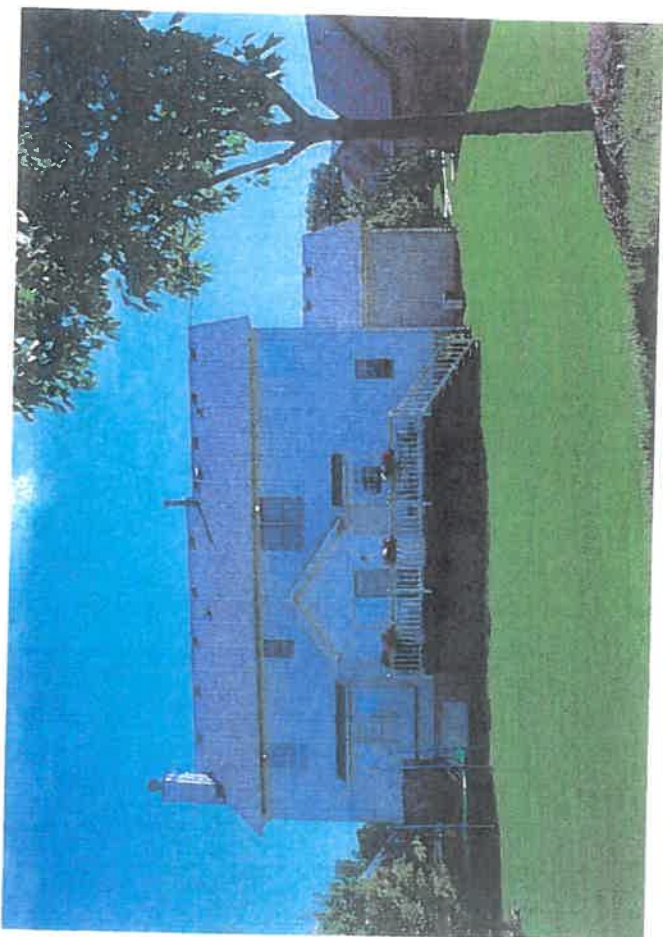
- A.** All Corner Homes which have two (2) elevations substantially parallel to a public street shall have lawns comprised of (i) sod without irrigation or (ii) seed with irrigation (no straw) in that portion of the yard located between the public street on each side of the Corner Lot and a line drawn parallel to each elevation closest to the public street extending from each end of said elevations to each perpendicular Lot line. All other side yards and rear yards must be seeded with straw as a minimum, and no irrigation required.
- B.** All Corner Homes which are set at an angle to the public streets, lacking an elevation parallel to either abutting public street, shall have lawns comprised of (i) sod without irrigation or (ii) seed with irrigation (no straw) in that portion of the yard located (i) between the front elevation of the home and each public street, and (ii) between the public street on each side of the Corner Lot and a line drawn parallel to each public street, extending to each perpendicular Lot line from the two (2) exterior corners of the home closest to each abutting public street. All other side yards and rear yards must be seeded with straw as a minimum, and no irrigation required.
- C.** All homes which are not Corner Homes shall have lawns comprised of (i) sod without irrigation or (ii) seed with irrigation (no straw) in all front yards. All side yards and rear yards must be seeded with straw as a minimum, and no irrigation required.
- D.** Front Landscaping shall consist of a minimum of:

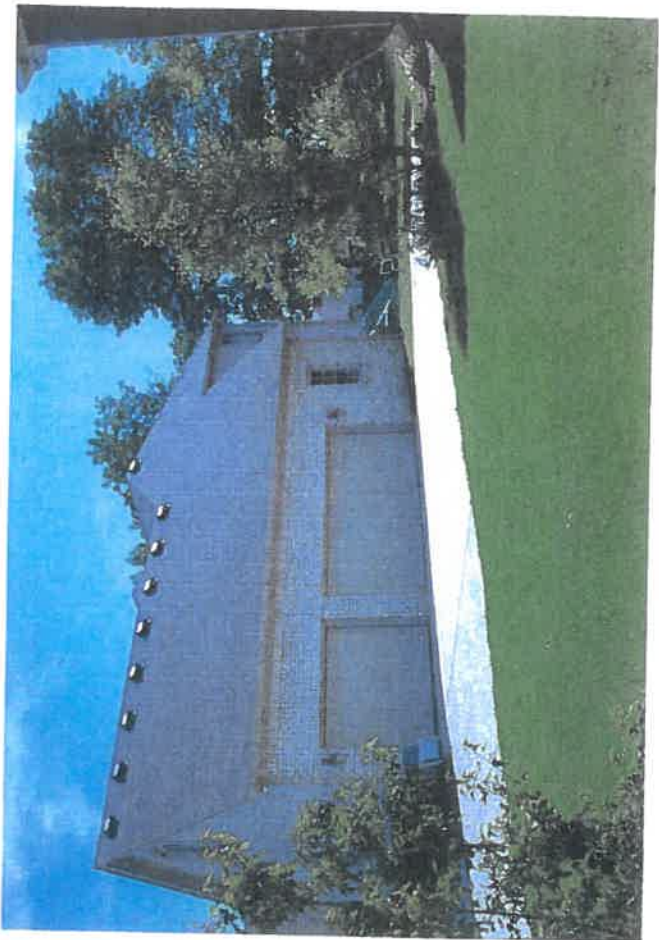
 - 1. Fourteen (14) shrubs of eighteen (18) inches to twenty-four (24) inches height or width;
 - 2. One (1) yard tree of two and one half (2 ½) inch caliper minimum outside planted bed; and
 - 3. One (1) ornamental tree of two and one half (2 ½) inch caliper or eight (8) foot height (multi-trunk) minimum within or outside planting bed.
- E.** Except on the side elevation of a home that contains a side load garage, each side yard of the home must contain a minimum four (4) foot long and two (2) foot wide planting bed including a minimum of two (2) eighteen (18) inch to twenty-four (24) inch shrubs in each bed.
- F.** Each home shall have one (1) tree with a two and one half (2 ½) inch caliper minimum in the rear yard. Any previously existing tree having a two and one half (2 ½) inch caliper shall count toward this requirement.
- G.** Street trees shall be installed as per the requirements of the City of Noblesville, Indiana.

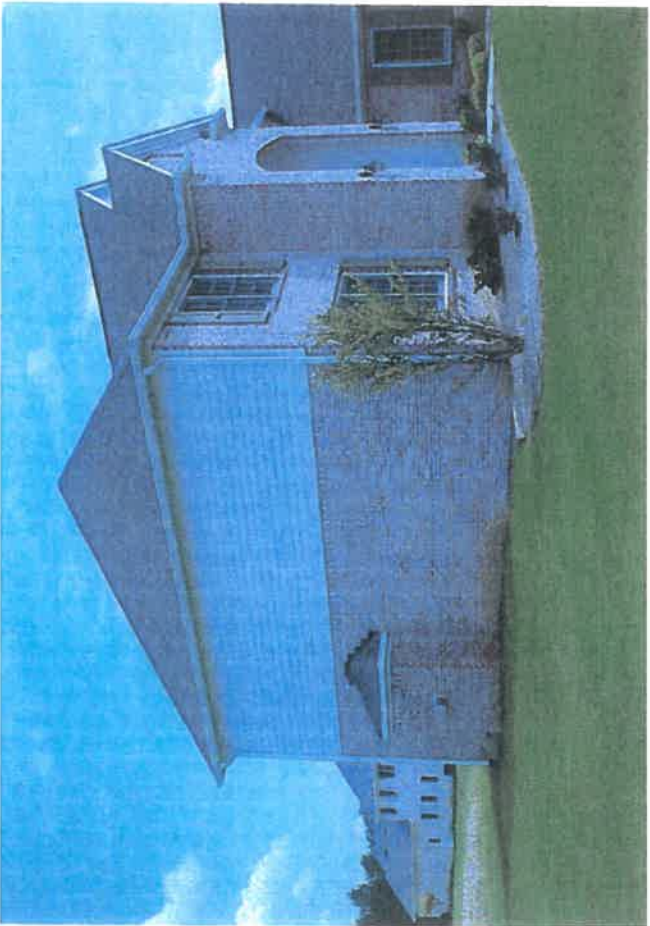
- H. All Corner Homes shall have one (1) shade tree with a two and one half (2 ½) inch caliper minimum in the side yard closest to the public street.

15. Miscellaneous:

- A. All plans and exterior colors must be approved by Precedent and the Department prior to beginning construction.
- B. All driveways shall be concrete; asphalt is not permitted.
- C. Public sidewalks are required on all Lots.
- D. Uniform yard lights and mailboxes shall be required by Precedent.
- E. Exterior address stones or decorative plaques are required.
- F. Basements and crawl space foundations are permitted; however, no slab foundations are allowed.
- G. All fireplaces located on the exterior elevation of a home must be constructed of Masonry. Interior fireplaces protruding through the roof, not on an exterior elevation of a home, are not required to be constructed of Masonry, but may be constructed of Natural Materials or Masonry.
- H. Direct vent fireplaces located on the rear elevation of a home may be constructed of Masonry or Natural Materials.
- I. Like model homes with identical front elevations shall be separated by at least one Lot and shall not be directly across the street from each other. For purposes of this determination, (i) any particular residence shall have only one residence across from it, and (ii) any two residences which are directly across from each other shall be the two residences which, if not separated by a street, would have the greatest area of overlapping front elevations.
- J. Dumpsters and or trash bins are required on all Lots once framing begins.







SLATER WOODS

Architectural and Building Guidelines

1. Definitions:

- A. Ridgeline.** The intersection of two horizontal roof planes, or the angle formed by them, which form the peak of a pitched area.
- B. Historical Style.** Historical Architectural Styles are established by and shall mean and refer to such homes as (i) colonial homes, (ii) cape cod homes, (iii) craftsman homes, (iv) traditional farmhouse homes, (v) french country homes, or (vi) homes with various exterior architectural elements, taken from the foregoing, to create more recent versions of the foregoing.

The Department of Planning and Development of the City of Noblesville, Indiana (the "Department") shall have the authority to determine whether a specific house plan qualifies as a Historical Architectural Style entitled to the modification, in the manner specified in these guidelines, of the standards set forth in these guidelines. All house plans submitted for approval shall first be approved by Precedent prior to submission to the Department. The Department shall have the authority to approve a house plan as a Historical Architectural Style.

- C. Natural Materials.** Brick, wood, limestone or natural stone.
- D. Manmade Materials.** Composite wood material (LP siding), stucco, EIFS, cultured stone, concrete fiber board (Hardiplank or similar materials) or resin based products (fypon).
- E. Corner Lot.** A Lot having frontage on two (2) public streets.
- F. Lot.** A parcel of land designated as such upon the Plat (as hereinafter defined) upon which there is constructed one (1) single detached home.
- G. Front Facing Garage Doors.** A garage door that is parallel to the front elevation of the home.
- H. Corner Home.** A home that is constructed on a Corner Lot.
- I. Overhang.** The portion of the roof structure that extends beyond the exterior framing walls of a home.
- J. Masonry.** Brick, limestone, natural stone, cultural stone, stucco and EIFS or other similar building material or a combination of the same, bonded together with mortar to form a wall, buttress or similar mass.

- K. Plat. The subdivision plat or plats for the real estate commonly known as Slater Farms recorded with the Hamilton County Recorder.
2. Minimum Square Footage:
- A. One-story homes shall have a minimum area of 2,200 square feet.
 - B. Two-story homes shall have a minimum area of 2,600 square feet.
3. Roof Ridgelines:
- A. One-story homes, excluding Historical Style homes, shall have a minimum of three (3) Ridgelines.
 - B. Two-story homes, excluding Historical Style homes, shall have a minimum of three (3) Ridgelines.
 - C. Historical Style homes shall have a minimum of two (2) Ridgelines.
 - D. Enclosed porches shall count as a Ridgeline. Unenclosed, covered porches shall not count as a Ridgeline unless the roof extends to the main roofline of the home.
4. Roof Pitch:
- A. The roofline along the front elevation to the roofline along the back elevation (front to back) shall have a pitch ratio of eight (8) feet vertical to twelve (12) feet horizontal.
 - B. The roofline of gables located on and parallel to the front elevation shall have a pitch ratio of ten (10) feet vertical to twelve (12) feet horizontal.
 - C. Ancillary roofs such as porches, bays or walkways may possess a lower pitch ratio than the minimum requirements set forth above.
5. Roof Overhangs:
- A. Each home shall have a minimum twelve (12) inch framed Overhang for all elevations. Where Masonry meets any Overhang, the Overhang shall measure a minimum of eight (8) inches.
6. Corner Breaks:
- A. Each home shall have a minimum of three (3) corner breaks on the front and rear façades. The exterior corners of a covered porch, the outermost corners of the home, and the exterior corners of any projection with a height of no less than six (6) feet shall count toward this requirement.
7. Equipment Vents:
- A. All vents shall attach to the rear elevation or side elevation of the home to reduce visibility from the street.

8. Foundations:

- A. Slab foundations are not permitted.
- B. Exposed concrete or block foundations are limited to four (4) inches or the minimum required by the applicable building code or siding manufacturer's specifications, whichever is greater.

9. Windows:

- A. Window types shall be vinyl clad, aluminum clad or wood.
- B. A one-story home shall have a minimum of four (4) windows on the front elevation and a minimum of four (4) windows on the rear elevation. Side elevations require a minimum of one (1) window per elevation.
- C. A two-story home shall have a minimum of six (6) windows on the front elevation and a minimum of six (6) windows on the rear elevation. Side elevations require a minimum of two (2) windows per elevation.
- D. All windows shall have either shutters and/or architectural treatment, unless such treatment is not consistent with the Historical Style of a home. For windows located in an elevation having an exterior surface constructed of Masonry, the treatment shall be of Natural Materials and shall be applied, at a minimum, to the sill and header. For windows located in an elevation not having an exterior surface constructed of Masonry, the treatment shall be constructed of one of the Natural Materials and shall be applied to the sill, header and jams. The width of the architectural treatment shall be a minimum of one-half ($\frac{1}{2}$) the width of the vertical reveal dimension of the siding material.
- E. Except for bathroom windows, utility room windows, or windows located directly above a kitchen sink, any of the following shall constitute one (1) window for purposes of calculating the number of windows required on each elevation:
 - 1. A double hung window with a framed opening having a minimum area of eight (8) square feet, and
 - 2. Each casement window where the glass is enclosed by wood or a clad material frame having a framed opening with a minimum area of eight (8) square feet.
- F. For purposes and calculating the number of windows required in each façade, a framed opening having a minimum area of six (6) square feet shall constitute one (1) window (i) in each bathroom, (ii) in each utility room, or (iii) when the window is located directly above a kitchen sink.

- G. For purposes of calculating the number of windows required in each elevation, a fixed pane glass window having a minimum area of sixteen (16) square feet shall be counted as two (2) windows.

10. Porches:

- A. One (1) front landing, stoop or porch is required on all homes, unless inconsistent with a Historical Style home. A landing, stoop or porch shall possess a minimum area of thirty (30) square feet.

11. Garages:

- A. All garages shall be side load, courtyard or angled garages; front loaded garages are prohibited.

12. Materials:

- A. Manmade Materials are intended to simulate the appearance of a Natural Material.
- B. Manmade Materials are acceptable replacements of Natural Materials and are approved to satisfy the Natural Materials requirements of these standards.
- C. Vinyl siding shall not be permitted.

13. Masonry Requirements:

- A. Masonry is required on the first floor exterior surface of each elevation of a home. Up to thirty (30) percent of the homes may have this requirement modified for approved Historical Styles.
- B. Any homes for which (i) the rear elevation faces 169th Street and (ii) no other homes exist between it and 169th Street shall have masonry on the exterior of the rear first floor elevation.

14. Landscaping:

- A. All Corner Homes which have two (2) elevations substantially parallel to a public street shall have lawns comprised of (i) sod without irrigation or (ii) seed with irrigation (no straw) in that portion of the yard located between the public street on each side of the Corner Lot and a line drawn parallel to each elevation closest to the public street extending from each end of said elevations to each perpendicular Lot line. All other side yards and rear yards must be seeded with straw as a minimum, and no irrigation required.
- B. All Corner Homes which are set at an angle to the public streets, lacking an elevation substantially parallel to either abutting public street, shall have lawns comprised of (i) sod without irrigation or (ii) seed with irrigation (no straw) in that portion of the yard located (i) between the front elevation of the home and each public street, and (ii) between the public street on each side of the Corner Lot and a line drawn parallel to each public street, extending to each perpendicular Lot line from the two (2) exterior corners of the home closest to

each abutting public street. All other side yards and rear yards must be seeded with straw as a minimum, and no irrigation required.

- C. All homes which are not Corner Homes shall have lawns comprised of (i) sod without irrigation or (ii) seed with irrigation (no straw) in all front yards. All side yards and rear yards must be seeded with straw as a minimum, and no irrigation required.
- D. Front Landscaping shall consist of a minimum of:
 - 1. Sixteen (16) shrubs of eighteen (18) inches to twenty-four (24) inches height or width;
 - 2. One (1) yard tree of two and one half (2 ½) inch caliper minimum outside planted bed; and
 - 3. One (1) ornamental tree of two and one half (2 ½) inch caliper or eight (8) foot height (multi-trunk) minimum within or outside planting bed.
- E. Except on the side elevation of a home that contains a side load garage, each side yard of the home must contain a minimum four (4) foot long and two (2) foot wide planting bed including a minimum of two (2) eighteen (18) inch to twenty-four (24) inch shrubs in each bed.
- F. Each home shall have one (1) tree with a two and one half (2 ½) inch caliper minimum in the rear yard. Any previously existing tree having a two and one half (2 ½) inch caliper shall count toward this requirement.
- G. Street trees shall be installed as per the requirements of the City of Noblesville, Indiana.
- H. All Corner Homes shall have one (1) shade tree with a two and one half (2 ½) inch caliper minimum in the side yard closest to the public street.

15. Miscellaneous:

- A. All plans and exterior colors must be approved by Precedent and the Department prior to beginning construction.
- B. All driveways shall be concrete; asphalt is not permitted.
- C. Public sidewalks are required on all Lots.
- D. Uniform yard lights and mailboxes shall be required by Precedent.
- E. Exterior address stones or decorative plaques are required.

- F.** Basements and crawl space foundations are permitted; however, no slab foundations are allowed.
- G.** All fireplaces located on the exterior elevation of a home must be constructed of Masonry. Interior fireplaces protruding through the roof, not on an exterior elevation of a home, are not required to be constructed of Masonry, but must be constructed of Natural Materials.
- H.** Like model homes with identical front elevations shall be separated by at least one Lot and shall not be directly across the street from each other. For purposes of this determination, (i) any particular residence shall have only one residence across from it, and (ii) any two residences which are directly across from each other shall be the two residences which, if not separated by a street, would have the greatest area of overlapping front elevations.
- I.** Dumpsters and or trash bins are required on all lots once framing begins.

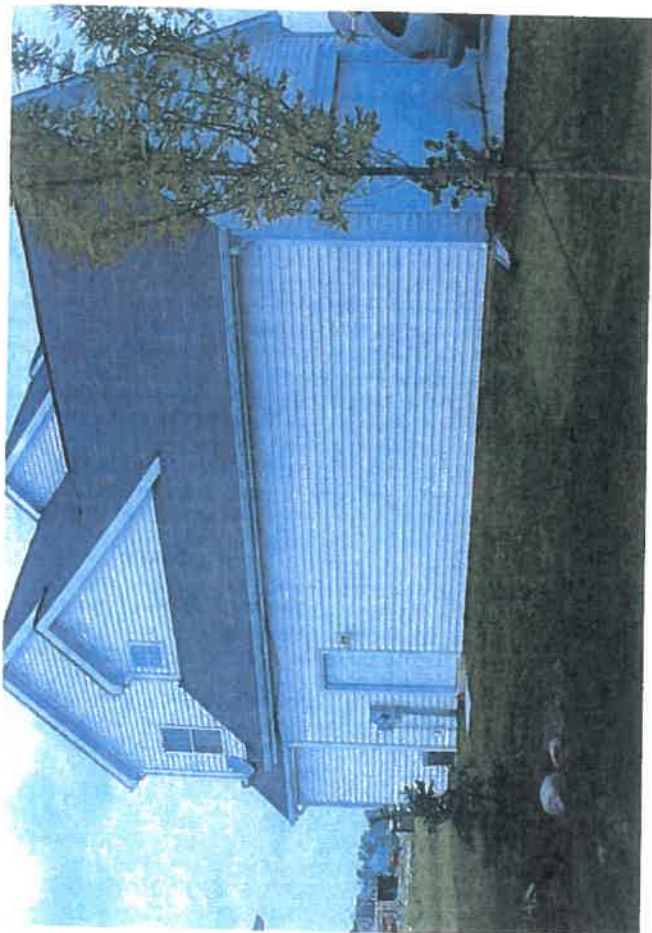
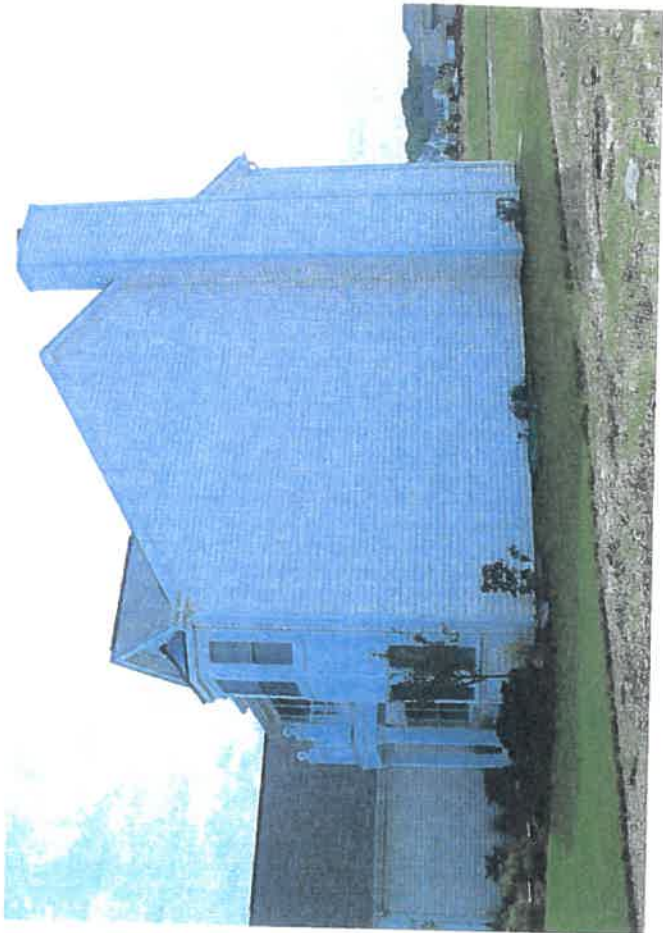
H:\Janet\Precedent\Slater Farms\Slater WOODS Bld Guidelines 9-17-03.doc



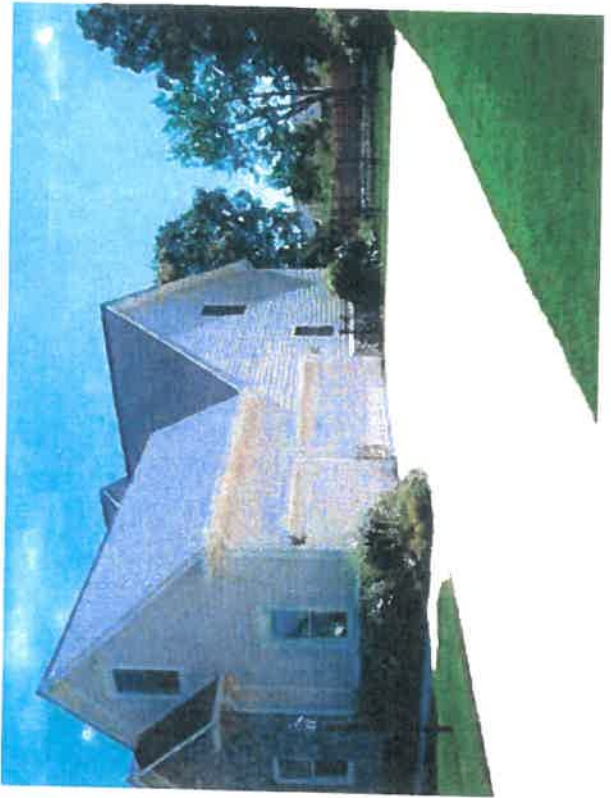
















Slater Farms

Architectural and Building Guidelines for Bathhouse

1. Minimum Square Footage:

- A. The bathhouse shall consist of a one-story structure and shall have a minimum total area of one thousand eighty-eight (1088) square feet, which is comprised of (i) total enclosed bath areas having a minimum area of six hundred seventy-seven (677) square feet and (ii) total covered verandas having a minimum area of four hundred eleven (411) square feet.

2. Roof Specifications:

- A. The roof shall possess a minimum roof pitch ratio of eight (8) feet vertical to twelve (12) foot horizontal from the ridgeline on the front facade to the ridgeline on the rear facade.
- B. The roof shall be a “hipped” roof containing four (4) uniformly pitched sides.
- C. The roof shingles shall be made of dimensional fiberglass.
- D. The roof shall contain one (1) continuous ridge vent.

3. Roof Overhangs:

- A. The roof shall contain overhangs that measure a minimum of twelve (12) inches.

4. Windows:

- A. The bathhouse shall not contain windows in order to facilitate bathhouse privacy.
- B. The bathhouse shall include glass blocks for exterior light access.

5. Siding Materials:

- A. The exterior siding of the bathhouse shall consist of eight (8) inch split face block with dryblock additive and “Korfil” insulation inserts

6. Landscaping: Front landscaping shall consist of a minimum of:

- A. Ten (10) shrubs (eighteen (18) inches to twenty-four (24) inches planted);
- B. One (1) yard tree (two and one-half (2 ½) inch caliper outside planting bed); and
- C. One (1) ornamental tree (two and one-half (2 ½) inch caliper or eight (8) foot height (multi-trunk) minimum within or outside planting bed).

7. Foundation:

- A. The foundation shall consist of a four (4) inch concrete slab.



ABOVE: PHOTO OF PROPOSED BATH HOUSE

**BELOW: PHOTO OF PROPOSED BABY POOL
(NOTE: FENCE AND PILLARS MAY VARY)**





**ABOVE: PHOTO OF 30'X60' SWIMMING POOL WITH FURNITURE
(NOTE: FENCE AND PILLARS MAY VARY)**

**BELOW: PHOTO OF PLAYGROUND EQUIPMENT AND SWING SET SIMILAR TO PROPOSED PLAY
EQUIPMENT TO BE INSTALLED AT PARKVIEW**



**SUBSURFACE INVESTIGATION &
GEOTECHNICAL RECOMMENDATIONS**

**SLATER WOODS – LOTS 52-56
CAPROCK DRIVE
NOBLESVILLE, INDIANA
A&W PROJECT No.: 19IN0349**

**PREPARED FOR:
LENNAR HOMES OF INDIANA, INC.
INDIANAPOLIS, INDIANA**

**PREPARED BY:
ALT & WITZIG ENGINEERING, INC.
GEOTECHNICAL DIVISION**

JULY 2, 2019

0



Alt & Witzig Engineering, Inc.

4105 West 99th Street • Carmel • Indiana • 46032

Ph (317) 875-7000 • Fax (317) 876-3705

July 2, 2019

Lennar Homes of Indiana, Inc.
9025 North River Road, Suite 100
Indianapolis, Indiana 46240
Attn: Mr. Keith Lash, P.E.

Report of Subsurface Investigation and Geotechnical Recommendations

RE: Slater Woods – Lots 52-56
Caprock Drive
Noblesville, Indiana
A&W Project No.: **19IN0349**

Dear Mr. Lash,

In compliance with your request, Alt & Witzig Engineering, Inc. has completed a subsurface investigation for the proposed residential construction on lots 52-56 of the Slater Woods residential development. The Statement of Objectives, Scope of Work, and results of our investigation are presented in the following report. It is our pleasure to transmit one (1) electronic (.pdf) copy of the report.

The results of our test borings and laboratory tests completed to date are presented in the appendix of the report. Our recommendations for the project are presented in the “Geotechnical Analysis and Recommendations” section of the report. If you have any questions or comments regarding this matter, please contact us at your convenience.

Sincerely,
ALT & WITZIG ENGINEERING, INC.

Jacob L. Rankin, M.Eng., E.I.T.

Brian A. Wirt, P.E.



Offices:

Cincinnati • Columbus • Dayton, Ohio
Evansville • Ft. Wayne • Indianapolis • Lafayette • Merrillville/South Bend, Indiana

**Subsurface Investigation and Foundation Engineering
Construction Materials Testing and Inspection
Environmental Services**

TABLE OF CONTENTS

INTRODUCTION	1
Site Location	1
Regional Setting	4
WORK PERFORMED	6
Boring Locations	6
Soil Sampling	7
Laboratory Analyses for Soil Samples	7
Groundwater Elevation	7
Site-Specific Geologic Results	8
Site-Specific Groundwater Elevations	8
GEOTECHNICAL ANALYSES AND RECOMMENDATIONS.....	9
Basement Construction	9
Slab-on-Grade Recommendations.....	9
CONSTRUCTION CONSIDERATIONS	10
Groundwater	10
STATEMENT OF LIMITATIONS.....	11
 APPENDIX A	
Recommended Specifications for Compacted Fills and Backfills	
Undercut Detail for Footing Excavation in Unstable Materials	
Site Location Map	
Boring Location Plan	
Boring Logs	
General Notes	
 APPENDIX B	
Custom Soil Resource of Hamilton County, Indiana	

INTRODUCTION

In compliance with your request, we have completed a subsurface investigation and geotechnical analysis for lots 52-56 of the Slater Woods residential development along Caprock Drive in Noblesville, Indiana.

This investigation was performed for Lennar Homes of Indiana, Inc. The purpose of this subsurface investigation was to determine the soil profile and the engineering characteristics of the subsurface materials in order to provide design criteria for the proposed residential construction. Our investigation was requested due to the presence of a wet granular soil layer that was present during excavation of a basement on lot 52.

The scope of this investigation included a review of geological maps of the area and a review of geologic and related literature; a reconnaissance of the immediate site; a subsurface exploration; field and laboratory testing; and engineering analysis and evaluation of the materials. The scope or purpose of the investigation did not specifically or by implication provide an environmental assessment of the site.

Site Location

The Site is located on the west side of Noblesville in Hamilton County, Indiana (*Figure 1*). More specifically, the sites are located along Caprock Drive. The Sites are further located on the U.S.G.S. 7.5-Minute Series Topographic Map of Noblesville Quadrangle, Indiana (Appendix A) in Section 9, Township 18 North, Range 4 East.

Figure 1: General Site Location



Site History

A review of historical aerals was also completed as part of this investigation. Based on this review it appears that the area of these lots was an undeveloped agricultural field prior to earthmoving activities. It appears that the earthmoving activities in the area of these lots was completed between 2017 and 2018. Historical aerals from 2015, 2016, and 2018, respectively, provided by Google Earth are provided in *Figures 2, 3, and 4.*

Figure 2 – 2015 Aerial Photograph of Site; Google Earth

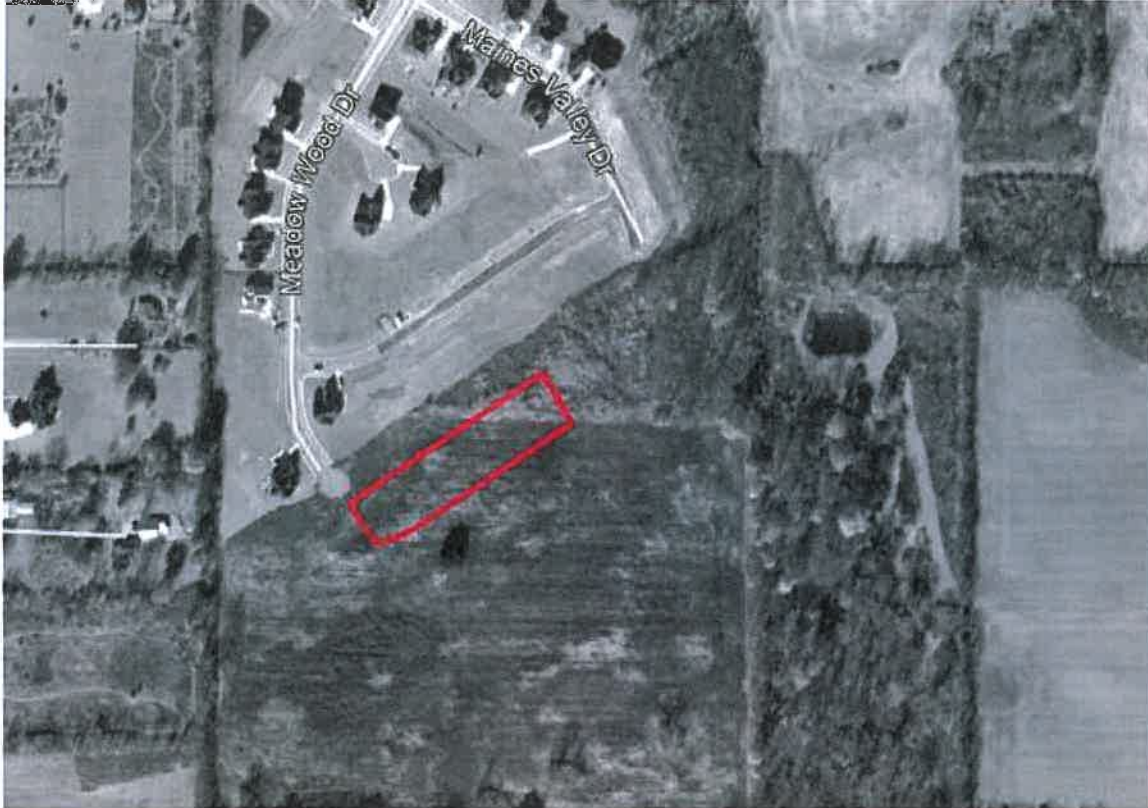


Figure 3 – 2016 Aerial Photograph of Site; Google Earth

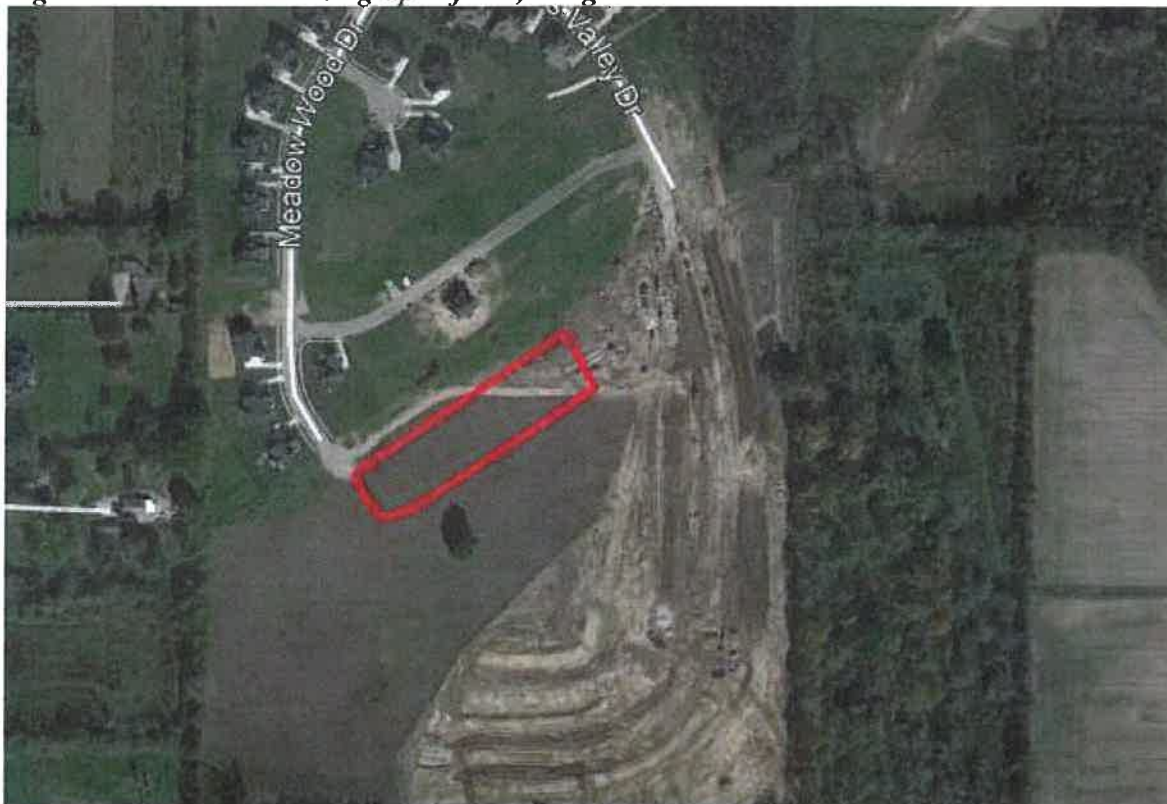


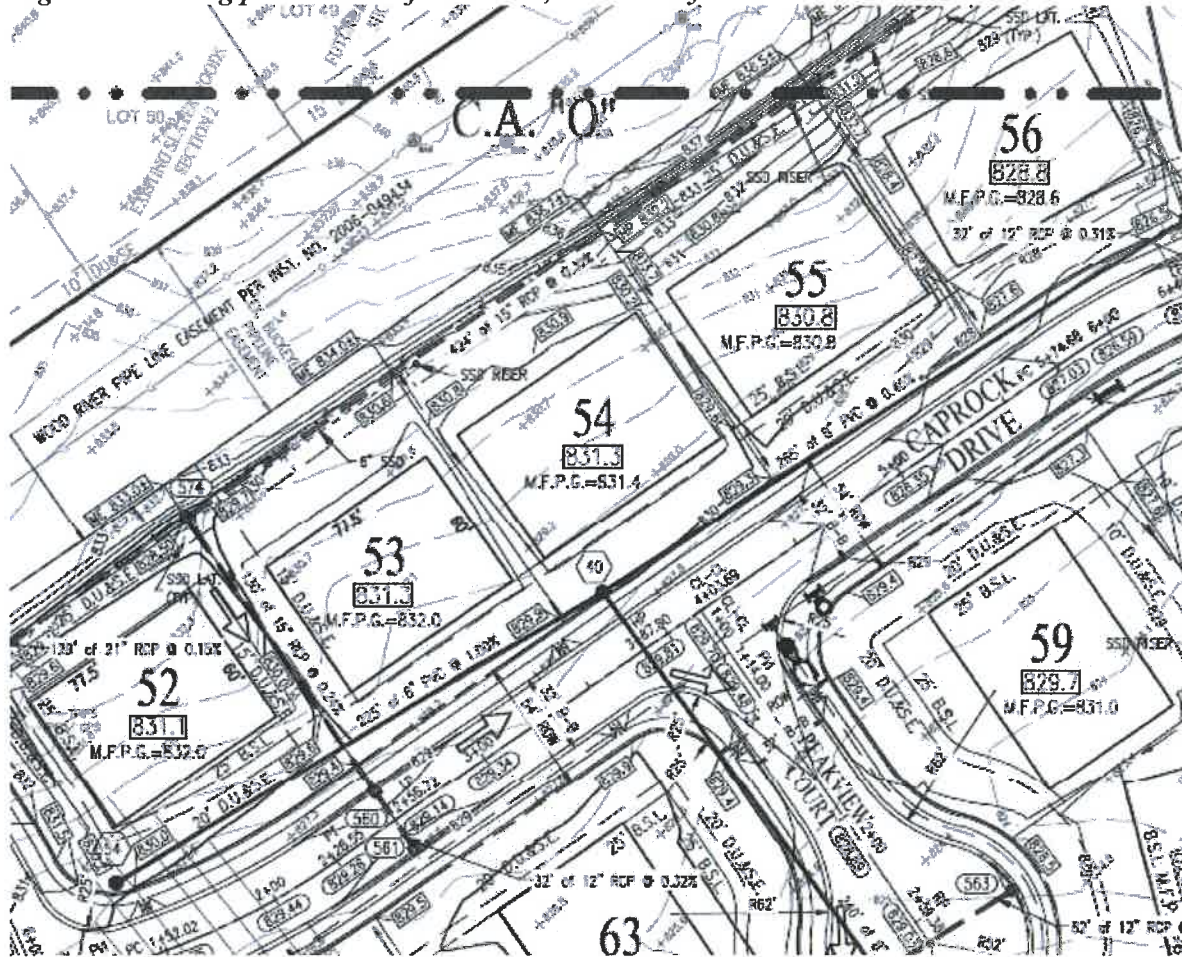
Figure 4 – 2018 Aerial Photograph of Site; Google Earth



Regional Setting

Based on available data provided by the Hamilton County GIS page and Google Earth, the existing ground surface is approximately 831 feet. Based on the grading plan it appears that approximately two (2) feet of fill was placed during earthmoving operations to raise the building pad areas to design grade. The grading plan provided to us by a representative of the client is shown in *Figure 5*, below. The site is surrounded by residential structures, paved roadways, and overhead and underground utilities. Drainage on the site runs across the ground surface into existing infrastructure for the Slater Wood development.

Figure 5: Grading plan in area of lots 52-56; Provided by the client



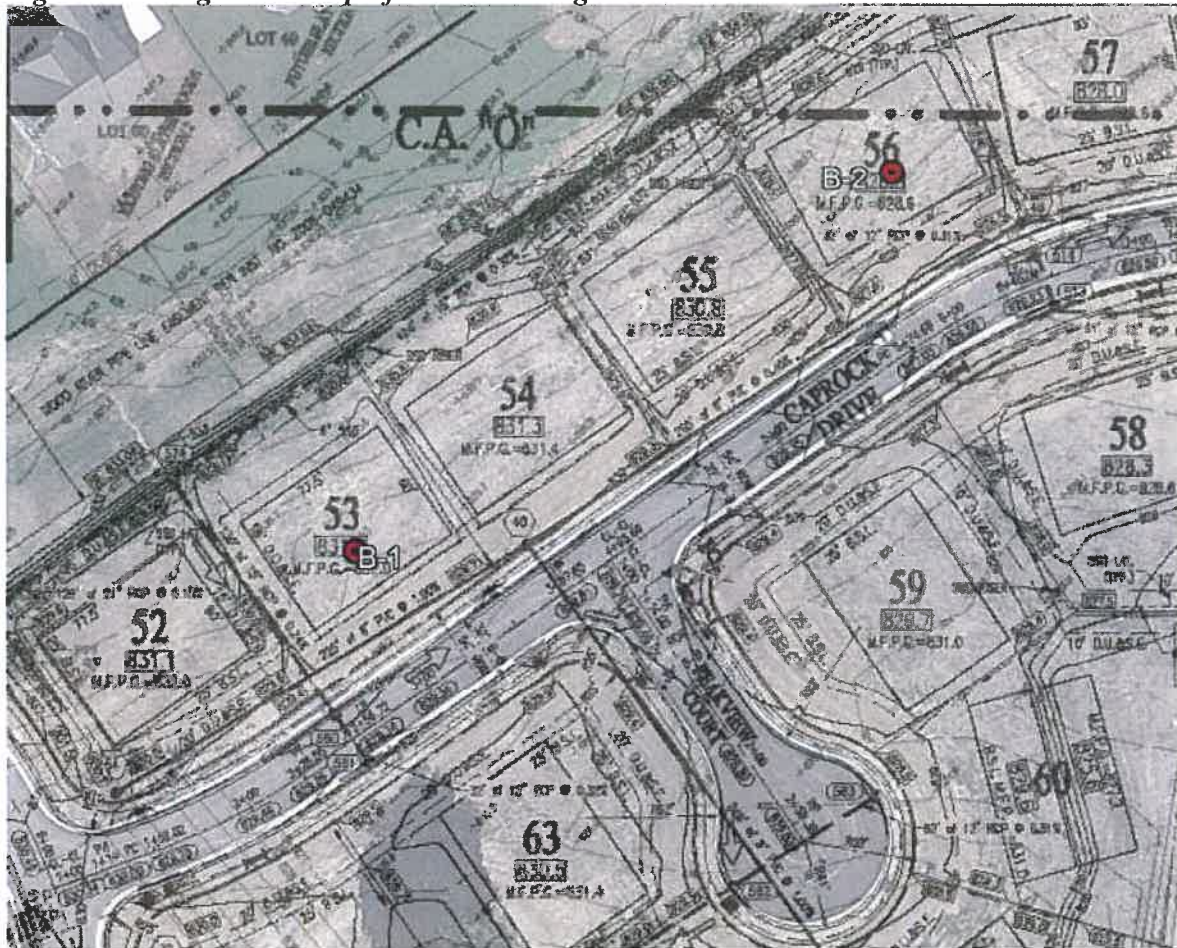
The project site lies within the Tipton Till Plains area of the Central Till Plain Physiographic Region of the State of Indiana. According to the Indiana Geological Survey bedrock at this site is at an elevation of approximately 700 feet consisting of Bainbridge Limestone from the Silurian Age. A review of the Soil Survey Map of Hamilton County and the Hamilton County GIS page indicated that the shallow soils over the project area consist mostly of Miami silt loam (MmB2 and MmC2) and Miami clay loam (MoD3) type soils as shown in *Figure 7*, below. The Custom Soil Resource Report of Hamilton County, Indiana has been included in the Appendix of this report.

Figure 6: Soil types across site; USDA NRCS



Boring Locations

Figure 7: Boring Locations projected onto Google Earth aerials



Soil Sampling

The soil borings were performed with a track mounted drilling rig equipped with a rotary head. Conventional hollow-stem augers were used to advance the holes. During the sampling procedure, standard penetration tests were performed at regular intervals in accordance with ASTM Method D 1586 to obtain the standard penetration value of the soil. The standard penetration value is defined as the number of blows a 140 lb hammer, falling 30 inches, required to advance the split-spoon sampler 12 inches into the soil. The results of the standard penetration tests indicate the relative density and comparative consistency of the soils, and thereby provide a basis for estimating the relative strength and compressibility of the soil profile components.

Soil samples were field classified and placed in unpreserved glass jars with Teflon-lined lids for transport to our geotechnical laboratory for further analysis.

Laboratory Analyses for Soil Samples

A supplementary laboratory investigation was conducted to ascertain additional pertinent engineering characteristics of the subsurface materials necessary in analyzing the behavior of the proposed subdivision. All phases of the laboratory investigation were conducted in accordance with applicable ASTM Specifications. The laboratory-testing program also included:

- Visual classification of soils
- Moisture content tests - ASTM D 2216.
- A pocket penetrometer was used as an aid in determining the strength of the soil.

Groundwater Elevation

Initial depths to groundwater were estimated based on where water was observed on the sampling rods. Upon completion and up to 24 hours after completion of drilling activities, the depth to water was measured using a tape measure with a weighted end. It shall be noted that in noncohesive soils, borings often experience caving or 'plugging' of the borehole opening due to sloughing of the granular soils. The depth of cave/plug is also recorded on the *Boring Logs*. The depths presented on *Boring Logs* are accurate only for the day on which they were recorded. The exact location of the water table shall be anticipated to fluctuate depending upon normal seasonal variations in precipitation and surface runoff.

INVESTIGATION RESULTS

The types of foundation materials encountered have been visually classified and are described in detail on the *Boring Logs*. The results of the field penetration tests, strength tests, water level observations and laboratory water contents are presented on the *Boring Logs* in numerical form. Representative samples of the soils encountered in the field were placed in sample jars and are now stored in our laboratory for further analysis if desired. Unless notified to the contrary, all samples will be disposed of after two (2) months.

Site-Specific Geologic Results

At the ground surface, the borings encountered one (1) to two (2) inches of topsoil. Below the topsoil, soil boring B-1 (lot 52) encountered a layer of cohesive materials comprised of brown and gray sandy clay to a depth of approximately seven (7) feet below the existing ground surface. Below this layer, soil boring B-1 encountered granular materials comprised of wet sand and gravel to the termination depth of fifteen (15) feet.

Soil boring B-2 (lot 56) encountered medium stiff brown sandy clay from just below the topsoil to a depth of approximately four and one-half (4½) feet below the existing grade. B-2 then encountered medium stiff to hard brown and gray silty and sandy clay to the termination depth of twenty (20) feet.

Site-Specific Groundwater Elevations

Site groundwater was measured as shallow as eight (8) feet below the existing ground surface upon completion of the drilling operations. The exact location of the water table shall be anticipated to fluctuate somewhat depending upon normal seasonal variations in precipitation and surface runoff. These fluctuations of the seasonal groundwater table based upon information provided by the *Soil Survey of Hamilton County, Indiana*.

GEOTECHNICAL ANALYSES AND RECOMMENDATIONS

Basement Construction

Soil boring B-2 (lot 56) encountered cohesive materials comprised of medium stiff to very stiff silty and sandy clay from below the topsoil to the termination depth of twenty (20) feet. Additionally, it is our understanding that a basement was excavated in the area of lot 54 and no granular soil layers were encountered. Due to the cohesive nature of these soils it appears that basement construction is feasible on lots 54-56.

However, as noted previously, wet granular soils were encountered in soil boring B-1 (lot 53). It is anticipated that these wet granular soil layers would be penetrated by any basement construction in this area of the site. Due to the shallow wet granular soil layers in soil boring B-1, Alt & Witzig Engineering, Inc. recommends that slab only construction be considered for lots 52 and 53. Basement construction at this site may result in severe difficulty during construction and extensive long-term dewatering.

It should be noted that the spoils from the attempted basement excavation on lot 52 were placed back into the excavation with no compaction completed. It is recommended that the undocumented materials placed in the attempted excavation be completely removed and reestablished with approved fill materials compacted in lift to project specifications. It is recommended that a representative of Alt & Witzig Engineering, Inc. be present to ensure that proper compactions is achieved.

Slab-on-Grade Recommendations

The ground floors and garage floors for these structures may be constructed as slabs-on-grade supported by firm natural soils and/or compacted fill materials. In the areas where the existing grade is above the anticipated finished floor elevation, the area should be undercut to allow four (4) inches of granular fill beneath the slab. This granular fill will provide a uniform surface on which the floor slab may be constructed. Recommendations for proper filling procedures are presented in the Appendix. Due to the perched water level, subgrade difficulties should be anticipated during the wet season.

CONSTRUCTION CONSIDERATIONS

Groundwater

Site groundwater was measured as shallow as eight (8) feet below the existing ground surface during and upon completion of the drilling operations. The *Custom Soil Resource Report for Hamilton County, Indiana* indicates a seasonal high groundwater level as high as the natural ground surface. The exact location of the water table will fluctuate depending upon normal seasonal variations in precipitation and surface runoff.

Depending upon the time of the year and the weather conditions when the excavations are made, seepage from surface runoff may enter shallow excavations and soften the subgrade soils. Since these foundation materials tend to loosen when exposed to free water, every effort should be made to keep the excavations dry should water be encountered. Sump pumps or other conventional dewatering procedures should be sufficient for this purpose. It is also recommended that all concrete for footings be poured the same day as the excavation is made in order to prevent the softening of foundation soils from groundwater infiltration.

STATEMENT OF LIMITATIONS

This report is solely for the use of Lennar Homes of Indiana, Inc. and their assigned agents. Any reliance of this report by third parties shall be at such party's sole risk and may not contain sufficient information for purposes of other parties for other uses. This report shall only be presented in full and may not be used to support any other objectives than those set out in the scope of work, except where written approval and consent are provided by Lennar Homes of Indiana, Inc. and Alt & Witzig Engineering.

Our subsurface investigation was conducted in accordance with guidelines set forth in the scope of services and applicable industry standards. The scope or purpose of this geotechnical investigation did not, either specifically or by implication, provide any environmental assessment of the site.

An inherent limitation of any geotechnical engineering study is that conclusions must be drawn on the basis of data collected at a limited number of discrete locations. The geotechnical parameters provided in this report were developed from the information obtained from the test borings that depict subsurface conditions only at these specific locations and on the particular date indicated on the boring logs. Soil conditions at other locations may differ from conditions encountered at these boring locations and groundwater levels shall be expected to vary with time. The nature and extent of variations between the borings may not become evident until the course of construction.

The exploration and analysis reported herein is considered in sufficient detail and scope to form a reasonable basis for preliminary design. The recommendations submitted are based on the available soil information and assumed design details enumerated in this report. If actual design details differ from those specified in this report, this information should be brought to the attention of Alt & Witzig Engineering, Inc. so that it may be determined if changes in the recommendations herein are required. If deviations from the noted subsurface conditions are encountered during construction, they should also be brought to the attention of Alt & Witzig Engineering, Inc.

We appreciate the opportunity to work with you on this project. Often, because of design and construction details that occur, questions arise concerning the soils conditions. If we can give further service in these matters, please contact us at your convenience.

APPENDIX A

Recommendations Specifications for Compacted Fills and Backfills

Undercut Detail for Footing Excavation in Unstable Materials

Site Location Map

Boring Location Plan

Boring Logs

General Notes

RECOMMENDED SPECIFICATIONS FOR COMPACTED FILLS AND BACKFILLS

All fill shall consist of material free of vegetable matter, rubbish, large rock, and other deleterious material.

Prior to placement of fill, a sample of the proposed fill material shall be submitted to Alt & Witzig Engineering, Inc. for his approval.

The surface of each layer shall be approximately horizontal but must be provided with sufficient longitudinal and transverse slope to provide for runoff of surface water from every point. The fill material shall be placed in layers not to exceed eight (8) inches in loose thickness and should be sprinkled with water as required to secure specified compactions. Each layer should be uniformly compacted by means of suitable equipment of the type required by the materials composing the fill. Under no circumstances should a bulldozer or similar tracked vehicles be used as compacting equipment.

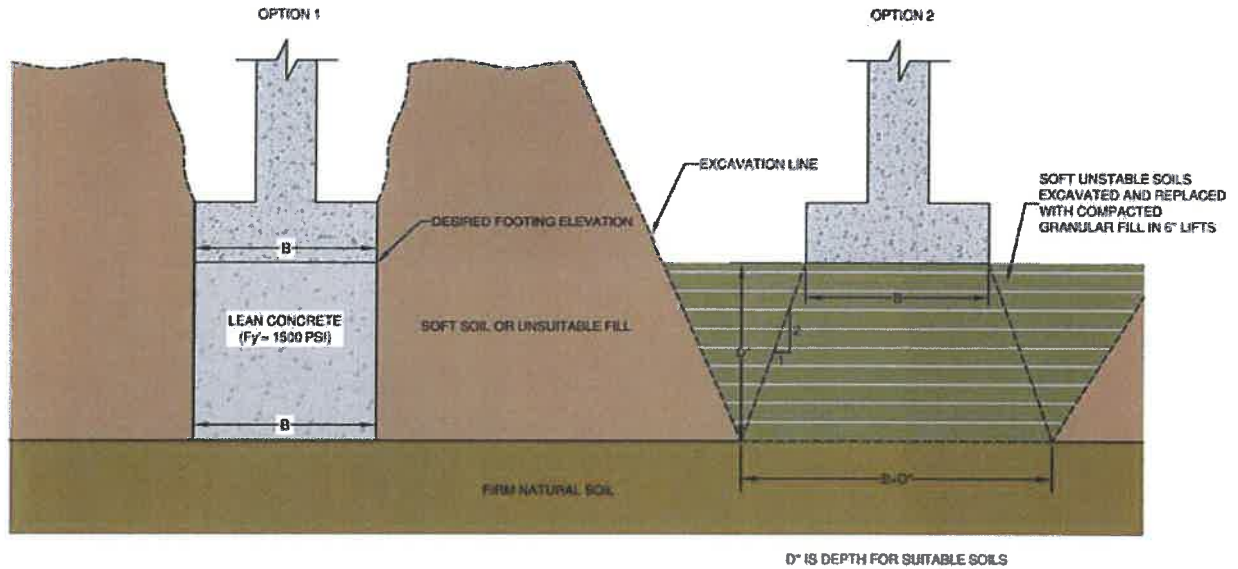
Material containing an excess of water so the specified compaction limits cannot be attained shall be dried to a moisture content that will permit proper compaction.

All fill shall be compacted to the specified percent of the maximum density obtained in accordance with ASTM D-698 as indicated in the table below:

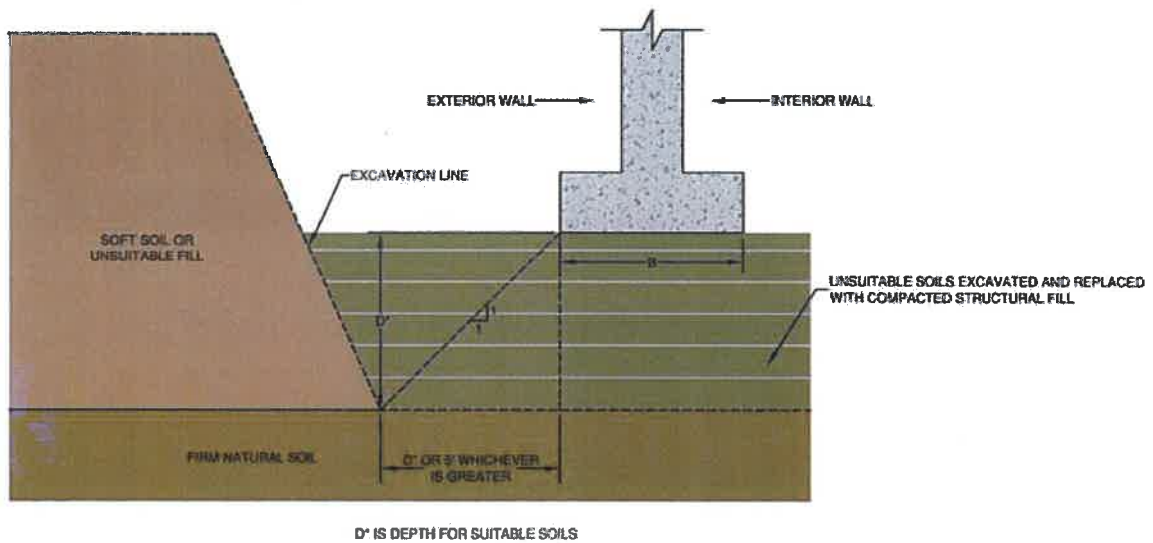
Below Footing Level	98%
Interior Slabs on Grade	95%
Paving	95%
Utility Trenches Backfill	95%

Should the results of the in-place density tests indicate that the specified compaction limits are not obtained; the areas represented by such tests shall be reworked and retested as required until the specified limits are reached.

UNDERCUT EXCAVATION FOR ISOLATED FOOTINGS IN UNSTABLE MATERIALS



MASS EXCAVATION FOR FOOTINGS IN UNSTABLE MATERIALS



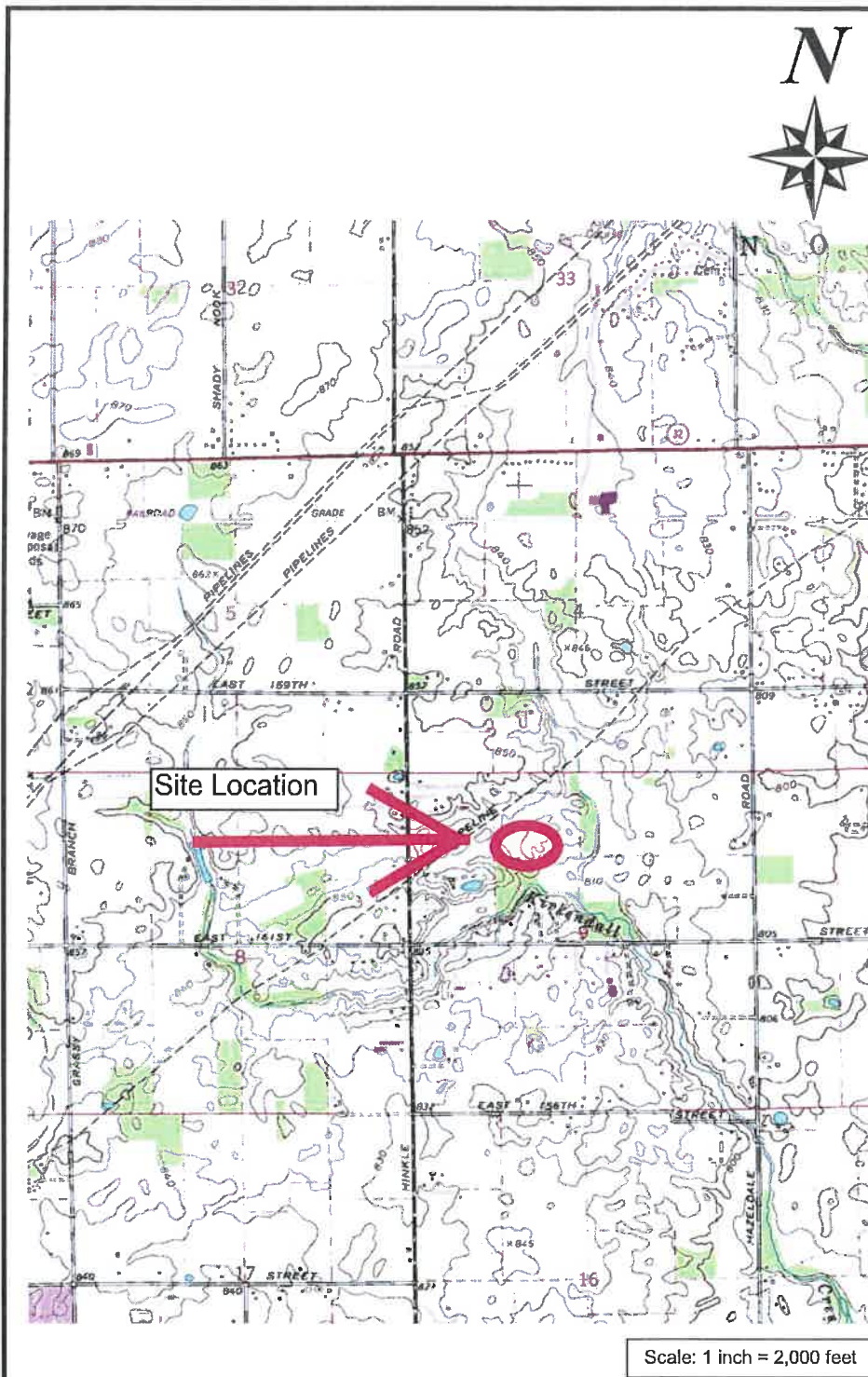
Undercut Detail for Footing Excavation in Unstable Material

PROJECT: Slater Woods – Lots 52-56
 LOCATION: Noblesville, Indiana
 CLIENT: Lennar Homes of Indiana, Inc.
 A&W File No.: 19IN0349

A_W Alt & Witzig Engineering Inc.
 4105 W. 99th Street · Carmel, IN 46032
 TEL (317) 875-7000 · FAX (317) 876-3705
www.altwitzig.com

Last Modified: 7/2/2019 8:35 AM

SITE LOCATION MAP

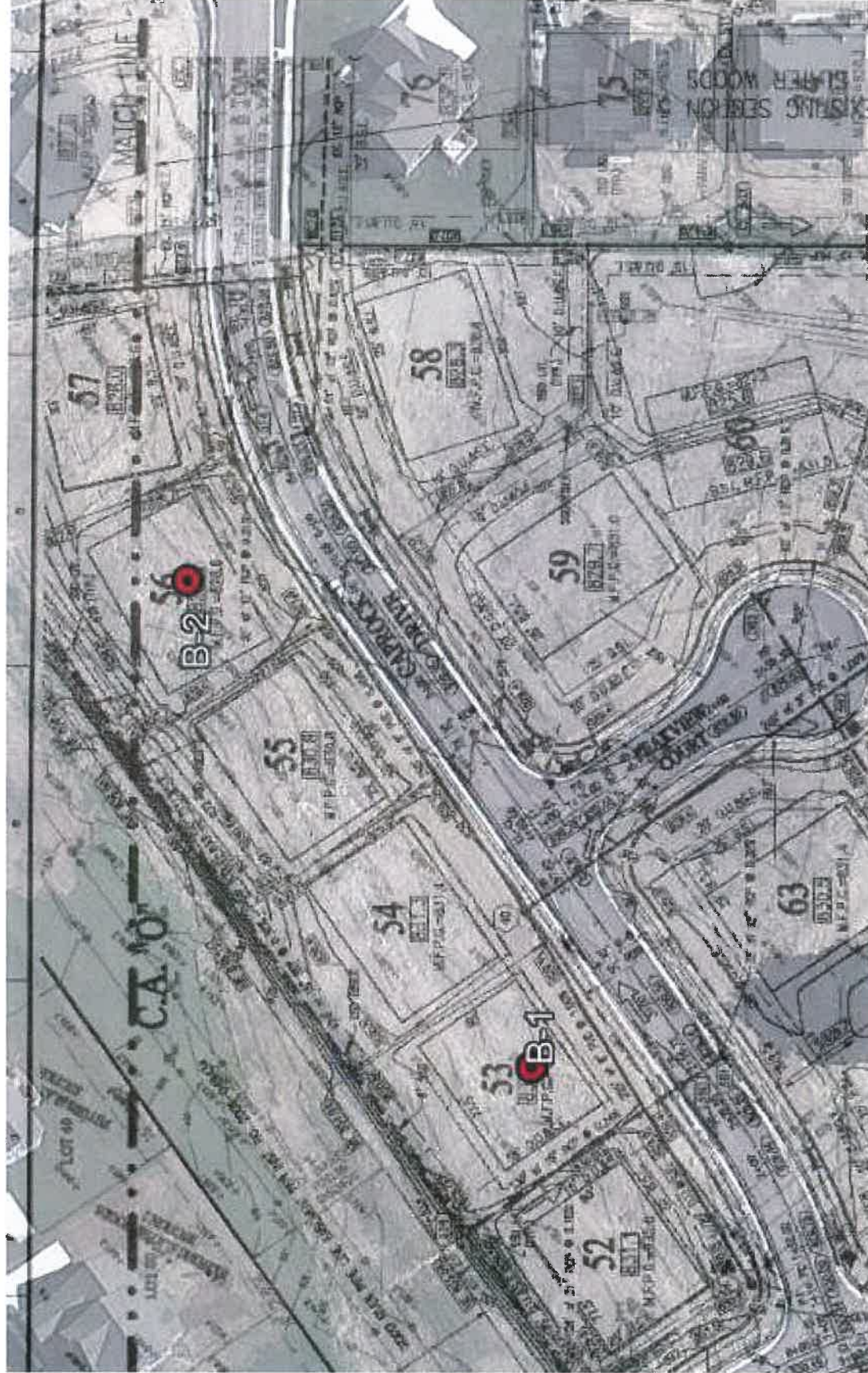


USGS Topographic Map:
Noblesville Quadrangle

Township: T 18 N.
Range: R 4 E.
Section: 9

PROJECT: Slater Woods - Lots 52-56
LOCATION: Noblesville, Indiana
CLIENT: Lennar Homes of Indiana, Inc.
A&W File No.: 19IN0349

A
W Alt & Witzig Engineering Inc.
4105 W. 99th Street - Carmel, IN 46032
TEL (317) 875-7000 • FAX (317) 876-3705
www.altwitzig.com



BORING LOCATION PLAN

PROJECT: Slater Woods - Lots 52-56
 LOCATION: Noblesville, Indiana
 CLIENT: Lennar Homes of Indiana, Inc.
 A&W File No.: 19IN0349

AW Alt & Witzig Engineering Inc.
 4105 W. 99th Street - Carmel, IN 46032
 TEL (317) 875-7000 - FAX (317) 876-3705
www.altwitzig.com



BORING LOG

Alt & Witzig Engineering, Inc.

CLIENT Lennar Homes of Indiana, Inc.

BORING # B-1

PROJECT NAME Slater Woods - Lot 52 - 56

ALT & WITZIG FILE # 19IN0349

PROJECT LOCATION Caprock Drive

DRILLING and SAMPLING INFORMATION

Date Started 5/29/19 Hammer Wt. 140 lbs.

Date Completed 5/29/19 Hammer Drop 30 in.

Boring Method HSA Spoon Sampler OD 2 in.

Driller D. McWherter Rig Type D-50 Track ATV

TEST DATA

STRATA ELEV.	SOIL CLASSIFICATION SURFACE ELEVATION	Strata Depth	Depth Scale	Sample No.	Sample Type	Sampler Graphics Recovery Graphics	Ground Water	Standard Penetration Test, N - blows/foot	Qu- <u>tsf</u> Unconfined Compressive Strength	PP- <u>tsf</u> Pocket Penetrometer	Moisture Content % Dry Unit Weight (pcf)	Remarks
	TOPSOIL	0.1		1	SS			12		1.3		
	Brown and Gray Sandy CLAY			2	SS			12	4.1			
				3	SS			13	0.8	0.5		
		5		4	SS			14				
		7.0		5	SS			10				
	Brown, Wet Fine to Coarse SAND and GRAVEL	10		6	SS			23				
		15		7	SS			21				
	End of Boring at 16 feet	16.0										

Sample Type

SS - Driven Split Spoon
ST - Pressed Shelby Tube
CA - Continuous Flight Auger
RC - Rock Core
CU - Cuttings
CT - Continuous Tube

Groundwater

○ During Drilling 12.0 ft.
▽ At Completion 8.0 ft.

Boring Method

HSA - Hollow Stem Augers
CFA - Continuous Flight Augers
DC - Driving Casing
MD - Mud Drilling



BORING LOG

Alt & Witzig Engineering, Inc.

CLIENT **Lennar Homes of Indiana, Inc.**

BORING # **B-2**

PROJECT NAME **Slater Woods - Lot 52 - 56**

ALT & WITZIG FILE # **19IN0349**

PROJECT LOCATION **Caprock Drive**

DRILLING and SAMPLING INFORMATION

Date Started **5/29/19** Hammer Wt. **140** lbs.

Date Completed **5/29/19** Hammer Drop **30** in.

Boring Method **HSA** Spoon Sampler OD **2** in.

Driller **D. McWherter** Rig Type **D-50 Track ATV**

TEST DATA

STRATA ELEV.	SOIL CLASSIFICATION	Strata Depth	Depth Scale	Sample No.	Sample Type	Sampler Graphics Recovery Graphics	Ground Water	Standard Penetration Test, N - blows/foot	Qu-ist Unconfined Compressive Strength	PP-ist Pocket Penetrometer	Moisture Content % Dry Unit Weight (pcf)	Remarks
	TOPSOIL	0.2		1	SS			11	2.3	1.5		
	Brown Sandy CLAY			2	SS			10	2.3	1.5		
		4.5		3	SS			8	1.2	1.0		
	Brown and Gray Silty Sandy CLAY and GRAVEL		5	4	SS			20				
		8.5		5	SS			23		1.3		
			10	6	SS			22		2.5		
	Gray Sandy CLAY and GRAVEL			7	SS			25		2.3		
			15	8	SS			53		2.8		
				9	SS			29		1.3		
	End of Boring at 20 feet	20.0	20									

Sample Type

SS - Driven Split Spoon
ST - Pressed Shelby Tube
CA - Continuous Flight Auger
RC - Rock Core
CU - Cuttings
CT - Continuous Tube

Groundwater

○ During Drilling Dry ft.
✕ At Completion Dry ft.

Boring Method

HSA - Hollow Stem Augers
CFA - Continuous Flight Augers
DC - Driving Casing
MD - Mud Drilling

MATERIAL GRAPHICS LEGEND



CL: USCS Low Plasticity Clay



CL: USCS Low Plasticity Sandy Clay



SP-GP: USCS Poorly-graded Gravelly Sand



TOPSOIL

SOIL PROPERTY SYMBOLS

N: Standard "N" penetration value. Blows per foot of a 140-lb hammer falling 30" on a 2" O.D. split-spoon.

Qu: Unconfined Compressive Strength, tsf

PP: Pocket Penetrometer, tsf

LL: Liquid Limit, %

PL: Plastic Limit, %

PI: Plasticity Index, %

DRILLING AND SAMPLING SYMBOLS

GROUNDWATER SYMBOLS

- Apparent water level noted while drilling.
- ⊖ Apparent water level noted upon completion.
- ⚡ Apparent water level noted upon delayed time.

SAMPLER SYMBOLS

⊠ SS: Split Spoon

RELATIVE DENSITY & CONSISTANCY CLASSIFICATION (NON-COHESIVE SOILS)

<u>TERM</u>	<u>BLOWS PER FOOT</u>
Very Loose	0 - 5
Loose	6 - 10
Medium Dense	11 - 30
Dense	31 - 50
Very Dense	>51

RELATIVE DENSITY & CONSISTANCY CLASSIFICATION (COHESIVE SOILS)

<u>TERM</u>	<u>BLOWS PER FOOT</u>
Very Soft	0 - 3
Soft	4 - 5
Medium Stiff	6 - 10
Stiff	11 - 15
Very Stiff	16 - 30
Hard	>31



Alt & Witzig Engineering, Inc.
4105 West 99th
Carmel, IN 46032
Telephone: 317-875-7000
Fax

GENERAL NOTES

Project: Slater Woods - Lot 52 - 56
Location: Caprock Drive
Number: 19IN0349

Exhibit 8

Mr. Bontrager indicated I1 covered west of State Road 19 between 196th Street and 206th Street and included a platted subdivision.

President Dragoo continued the item until the October 20, 2003 meeting.

03F-17-1353 A REPLAT OF A PORTION OF THE PRIMARY PLAT FOR BARRINGTON ESTATES SECTION 1, specifically lot # 2, located along Remington Drive south of 136th Street and east of Cyntheanne Road in Fall Creek Township. Submitted by Theodore L. McMullen Co., LLC

Ms. Yelton stated the petitioner requested a sixty (60) day continuation, which will require re-notification of surrounding property owners.

President Dragoo continued the item.

03J-14-1510 A CHANGE OF ZONING FROM "SR" SUBURBAN RESIDENTIAL TO "R1" LOW DENSITY SINGLE-FAMILY RESIDENTIAL for approximately 212 acres located on the north and south sides of 169th Street between Gray Road and Hazel Dell Road in Noblesville Township. Submitted by Precedent Residential Development LLC and Charlie Frankenberger, attorney.

Ms. Yelton indicated this request to change from "SR", allowing (2) units per acre on sewer, to "R1" allowing (2.9) units per acre is in conflict with the Comprehensive Master Plan and Staff recommends against the change of zoning.

Mr. Larrison stated the 1.7 units per acre proposed is better than what is allowed.

Ms. Yelton indicated the 1.76 units per acre is only relevant to the next item.

Mr. Huntley stated the current zoning is "SR" and allows (2) units per acre and the proposal to "R1" allows (2.4) units per acre. He indicated the zoning change is necessary to allow the PD to go forward.

Ms. Hasenbalg stated if this item is denied, there is no need to consider the next item.

Mr. Huntley stated that is the issue at hand and the conflict occurs because the proposed amendments to the Master Plan follows an "R1" proposal but the Staff restrictions must be based on the current Master Plan.

Mr. Dragoo asked if Staff still recommended denial of the petition.

Mr. Huntley indicated they have to recommend denial based on the current adopted plan.

Ms. Yelton stated a similar situation occurred on the Brenwick Development and the Commission recommended not to change the zoning.

Mr. Huntley stated this was a procedural issue and if the Commission agreed with the change from "SR" to "R1", they could go on to the next item.

Ms. Goldstein asked if the Noble West project was approved at the Plan Commission level or the Council level.

Ms. Yelton indicated the approval came from the Council.

Ms. Goldstein asked if the Council changed the zoning.

Ms. Yelton indicated yes.

Mr. Womer asked what the time table is for the Master Plan change.

Mr. Huntley indicated discussion would be held at the 5th Monday meeting with a possible formal proposal presented at the October 20, 2003 Plan Commission meeting, forwarding to Council for a vote in November.

Mr. Frankenberger asked the zoning classification be changed from "SR" to "R1" under a PD ordinance for density not to exceed (1.76) units per acre, which is lower than the (2.9) units per acre permitted under "R1" and the (2) units per acres permitted under "SR".

President Dragoo opened the public hearing.

Unknown from the audience asked how you know the density is really (1.76) units per acre.

Mr. Howard stated the plat cannot be approved and/or recorded if the density is greater than what is proposed. He indicated if lots were added to the plat, they would have to appear again before the Plan Commission.

Patricia Woodworth, 6393 Hazel Dell Road, said the land contains a creek and low spot and asked where the houses and park will be located.

Mr. Dragoo stated they have not yet seen a plat and will be part of the next item.

Ms. Woodworth indicated she found a stake on her property 30-FT inside her property line and she had given no permission for her property to be staked.

Mr. Howard indicated the engineers for the Hamilton County Highway Department might have placed the stake during preliminary surveying of Hazel Dell Road and do have the right under statute to go onto private property for surveying and staking. He stated the stake is not part of the petition being heard.

Mr. Larrison stated the proposed project was very nice and would like to see it approved.

The public hearing was closed.

Mr. Howard indicated if the Commission approved the "R1" zoning, the developer had the right to (2.4) units per acre density until the next item was decided, which included the PD overlay. He stated the Commission could move to forward with a positive recommendation based on approval of Item # 4.

Mr. Larrison asked if sewer was available.

Mr. Jump indicated sewers were on 169th Street and hoped to parallel the gas line running through the proposed project.

Mr. Larrison moved to forward to Council with a favorable recommendation A CHANGE OF ZONING FROM "SR" SUBURBAN RESIDENTIAL TO "R1" LOW DENSITY SINGLE-FAMILY RESIDENTIAL for approximately 212 acres located on the north and south sides of 169th Street between Gray Road and Hazel Dell Road in Noblesville Township subject to the approval of Item # 4 by the Common Council. Ms. Hasenbalg seconded.

Roll call vote was as follows: AYE: Larrison, Beason, Wiley, Garzon, Busby, Jump, Zeckel, Reed, Hasenbalg, Womer, Goldstein, Hanes, Dragoo. The vote was 13 – 0. The motion carried.

03J-15-1511 A PRELIMINARY DEVELOPMENT PLAN APPROVAL FOR APPROXIMATELY 330 SINGLE-FAMILY RESIDENTIAL UNITS TO BE KNOWN AS SLATER FARMS AND A CHANGE OF ZONING FROM "R1" LOW DENSITY SINGLE-FAMILY RESIDENTIAL TO "R1/PD" LOW DENSITY RESIDENTIAL PLANNED DEVELOPMENT for approximately 212 acres located on the north and south sides of 169th Street between Gray Road and Hazel Dell Road in Noblesville Township. Submitted by Precedent Residential Development LLC and Charlie Frankenberger, attorney.

Ms. Yelton stated the proposed project includes semi-custom and custom homes on lots ranging from 80-FT to 100-FT in the \$275,000 to \$750,000 price range. The development, to be called Slater Farms, includes (3) areas: Slater Run containing (86) lots, Slater Ridge containing (136) lots and Slater Woods containing (122) lots. She indicated the development includes curvilinear streets, several ponds and recreational area including swimming pool, bathhouse, shelter house and playground equipment. Ms. Yelton stated the developer will provide mounding and landscape along Gray Road and 169th Street and added additional trees along 169th Street at the request of the Architectural Review Board. She indicated the project has been before the Technical Advisory Committee and will revisit TAC during the construction plan stage to address issues such as fire hydrant locations. Ms. Yelton indicated the development of interior streets provide 54-FT right-of-way with 32-FT back to curb, sidewalks, and a 10-FT asphalt trail as a part of the Central Indiana Railroad Trail on the northern edge of the property. She indicated the requests of the ARB are included in the current proposal, including 2-1/2-IN trees as per ordinance. Ms. Yelton stated the applicant is requesting (4) model homes per section and Staff

supports a total of (12) model homes, as well as covenants and restrictions as presented. Ms. Yelton indicated the ordinance requires a 50-FT peripheral buffer yard, the proposal is for 25-FT. She stated recent approvals by the Commission and Council have agreed to a 25-FT peripheral buffer with the understanding that development of adjacent properties will provide the additional 25-FT. Ms. Yelton noted the following modifications for approval: Peripheral buffer of 25-Ft instead of 50-FT; Minimum lot size 10,000-SF instead of 15,000-SF; Front yard setback of 25-FT instead of 30-FT; Side yard of 5-FT instead of 9-FT with aggregate of 15-FT minimum between houses; Minimum lot width of 80-FT, for some lots, instead of 100-FT. She indicated staff would stipulate a petition for Annexation be filed prior to final reading before the Council

Mr. Busby asked if staff is comfortable with the modifications requested.

Ms. Yelton indicated Planned Development allows for certain reductions and stated staff has no problem with reductions in the areas requested. She stated only some of the lots will be 80-FT with many others meeting or exceeding the 100-FT requirement and many lots are larger than 10,000-SF and 25-FT front yard setback is typical in a PD.

Mr. Busby asked if the total subdivision was in excess of the requirements.

Ms. Yelton stated yes, the overall development exceeds requirements.

Mr. Dragoo asked for an explanation of Planned Development.

Ms. Yelton stated a strict R1 did not allow for any greater density than 4.9 units per acre, 100-FT lot width, 30-FT front yard setback. In order to vary these requirements, Planned Development was set up to allow projects review by the Architectural Review Board to look at not only architectural standards but the layout of the overall development including green space, landscape, and lot compatibility with adjacent areas. After ARB review, the PD comes before the Plan Commission for consideration and forwarding to the Common Council.

Mr. Larrison asked if the ARB is satisfied with the development.

Ms. Yelton stated the ARB forwarded the project to the Plan Commission with a favorable recommendation and all ARB requirements are included in the project as presented.

President Dragoo opened the public hearing.

Ms. Lisa Burt, 169th Street, stated her opposition to the project and requested at least a 50-FT peripheral buffer between her property and the proposed project.

Ms. Robin Runyon Story, 16529 North Gray Road, stated the presence of a common easement on the south end of her property and asked how the easement will be affected by the development. She also asked if there are any plans for additional schools in the area and stated her opposition to the project.

Mr. Rick Gibson, Gray Road, indicated his concern about drainage from the (40) acre Century Gray Estates which drains across the Slater property including surface water and through an 8-IN farm tile into the Fred Hines legal drain. He indicated for (10) years the response to his drainage concerns have been tied to the development of the Slater property.

Mr. George Slater stated his desire to see mature woods not disturbed and requested Lots 9, 10, 11, 120, 121, and 122 in Slater Woods be eliminated and the trees maintained.

Mr. Rick Habager, 16415 North Gray Road, asked if a traffic study had been completed in regard to Gray Road and asked for buffering and mounding between the proposed project and the existing residential areas. He indicated he was not willing to provide 25-FT of his property to accommodate the 50-FT buffer requirement and wanted to see the mature trees preserved.

Mr. Steve Zupan, 16879 Gray Road, indicated his main concern was the drainage problem and preservation of mature trees.

Ms. Nancy Myra, 4725 Golden Hind, stated her concern for fire protection, traffic, sewer capacity, and school capacity including tax base.

Mr. Bud Woodworth, 16393 Hazel Dell Road, indicated concern for his woods becoming a swamp with the development of the adjacent wetlands.

Mr. Joe Bennetts, 5118 E. 161st Street, stated concern for dump clean-up, drainage, wetlands review, traffic, one lane bridges, and the location of the water lines. He indicated a donation of (10) to (15) acres for a bird sanctuary to the Central Indiana Land Trust should be considered.

Mr. Gary Gang, 16549 North Gray Road, indicated his concern for traffic on Gray Road.

Mr. Robert Crook, 5180 East 161st Street, indicated his concerns for drainage.

Ms. Debbie Gerber, 5140 E. 161st Street, indicated her concern for traffic in the area.

The public hearing was closed.

Mr. Charlie Frankenberger introduced Doug Wagner, Tim Peterson and Jim Stone. He stated there exists extensive natural buffering between existing residences and stated the value of the homes in the proposed project will have a positive affect on surrounding properties. He indicated drainage concerns would be addressed with recommendations from the Technical Advisory Committee and compliance with same.

Mr. Doug Wagner indicated the easement mentioned by Ms. Runyon is a (3) acre parcel of land owned by Precedent which is not a part of the petition, and not included in the

rezone request. He indicated the parcel will be included in the annexation petition in order to provide sewer and water. Mr. Wagner stated the (3) acre parcel will eventually be sold.

Mr. Frankenberger indicated any easement rights will continue, if any exists.

Mr. Womer asked if the easement existed on both sides of the property line.

Mr. Wagner stated his understanding that no easement exists, only a (3) acre parcel of land which they own.

Mr. Dragoo suggested the term access for farm equipment might be a better description.

Mr. Frankenberger indicated substantial tree preservation had been incorporated into the site and is important to a developer in providing higher end lots. He stated the developer would pay road impact fees for development of infrastructure.

Mr. Wagner restated the presence of (3) neighborhoods within Slater Farms including Slater Run, 80-FT wide lots with home prices \$225,000 to \$375,000, and no vinyl or aluminum siding allowed; Slater Ridge, 90-FT wide lots with home prices \$325,000. to \$500,000, and (3) sides first floor brick/masonry required; Slater Woods, 100 and 110-FT wide lots, with home prices \$400,000 to \$800,000 and (4) sides first floor brick, side-load or courtyard garages. He indicated support from Steve Schwartz, a neighbor to Slater Run and estimated construction of (30) to (40) homes a year, for a (7) to (9) year build-out. Mr. Wagner indicated their awareness of the legal drains in the area and will meet the drainage guidelines in the ordinances and the Surveyor's recommendations and stated they had done a good job of tree preservation and replacement of trees was addressed in the covenants. Mr. Wagner indicated the water lines would come from either Hazel Dell Woods or from Westfield along Gray Road and the sewer from 169th Street. He indicated they had completed a Phase I study of the dump site and had already removed the materials from the dump site. Mr. Wagner stated there were a number of green, open spaces included in the development and is an overall project to be proud of.

Mr. Larrison asked how far north of 161st Street is the southern property line of the proposed project.

Unknown from the audience stated 1350-FT from 161st Street to the back of her property and indicated Slater Woods appeared to include her woods.

Mr. Howard stated the City has initiated and completed the initial financing stages for (2) new fire stations including one on Hazel Dell Road south of the renovated school site on 4.1 acres with anticipated construction Spring 2004 with the station fully staffed early in 2005.

Unknown from the audience asked when Hazel Dell Road will be upgraded.

Mr. Howard indicated the southern portion of Hazel Dell Road north of 146th Street will be built by the developer of Noble West. He stated the portion north of the bridge will depend on resolving the COIT issues with the Indiana Department of Revenue and indicated Hazel Dell Road is a priority with both the city and the county including redesign of the regulated drain east of Hazel Dell Road.

Mr. Dragoo asked for an explanation of impact fees on roads and schools.

Mr. Howard stated the city Park Impact Fee was \$973.00 per residence and a study for Road Impact fees would be before the Plan Commission at the October 20, 2003 meeting. He indicated the Impact Fees would be approximately \$1,600 - \$1,700 per residence and was a segregated fund used for road improvements in the designated areas. Mr. Howard stated the legislature does not allow a school impact fee and indicated the schools have a site at 196th Street and Hague for future expansion as well as a school site on 156th Street between Hazel Dell and Gray Roads.

Mr. Womer moved forward to Council with a favorable recommendation A PRELIMINARY DEVELOPMENT PLAN APPROVAL FOR APPROXIMATELY 330 SINGLE-FAMILY RESIDENTIAL UNITS TO BE KNOWN AS SLATER FARMS AND A CHANGE OF ZONING FROM "R1" LOW DENSITY SINGLE-FAMILY RESIDENTIAL TO "R1/PD" LOW DENSITY RESIDENTIAL PLANNED DEVELOPMENT for approximately 212 acres located on the north and south sides of 169th Street between Gray Road and Hazel Dell Road in Noblesville Township. Mr. Larrison seconded.

Roll call vote was as follows: AYE: Womer, Goldstein, Hanes, Larrison, Beason, Wiley, Garzon, Busby, Jump, Zeckel, Reed, Hasenbalg, Dragoo. The vote is 13 – 0. The motion carried.

03N-15-1518 AN AMENDED PRELIMINARY DEVELOPMENT PLAN APPROVAL FOR THE CONSTRUCTION OF A FAIRFIELD INN LOCATED ON A PORTION OF BLOCK 2 OF NOBLESVILLE COMMONS along the west side of Foundation Drive and north of Over Drive in the City of Noblesville. Submitted by Motels of Noblesville, LLP and Michael L. DeBoy, Land Surveyor with Mid-States Engineering, LLC.

Ms. Yelton stated the proposed parcel is north of the Sonic Drive-In and west of Hamilton County Auto Brokers, a part of Noblesville Commons. She indicated the proposal was for construction of a Fairfield Inn with (59) rooms, 39-FT (3-story) height, (2) drive cuts, indoor pool, and exterior sun deck. She stated the ordinance permits (1) drive cut per road frontage and a maximum height of 35-FT. Ms. Yelton stated the Technical Advisory Committee has reviewed the proposal and it would have to be reviewed again by TAC prior to issuance of any permits. She stated the roadway is considered a part of this parcel and the petitioner is measuring the front yard setback from the eastern most edge of Foundation Drive, which results in a the proposed building being 30-FT in front of the other buildings in the area. She indicated the minimum side yard setback was well exceeded, and the property essentially has (2) front yards. She stated the architectural requirements imposed by Marriott dictate the 39-FT height and staff can support this

**COMMON COUNCIL, CITY OF NOBLESVILLE
SEPTEMBER 23, 2003, PAGE II**

Mr. Snelling asked if they would be having a fifth Monday meeting. Mr. Huntley stated they will have one September 29, 2003 starting at 5:30 P.M. with food and 6:00 P.M. for the meeting. It will be at the Planning offices.

APPROVAL OF CLAIMS

Mrs. Hurst moved to approve the claims, second Mr. Busby, five aye.

NEW ORDINANCES FOR DISCUSSION

#66-9-03 COUNCIL TO CONSIDER A CHANGE OF ZONING FROM SR SUBURBAN RESIDENTIAL TO R-1 LOW DENSITY SINGLE FAMILY RESIDENTIAL FOR APPROXIMATELY 212 ACRES LOCATED ALONG THE NORTH AND SOUTH SIDE OF 169TH STREET BETWEEN GRAY ROAD AND HAZEL DELL ROAD IN NOBLESVILLE TOWNSHIP (STEVE HUNTLEY)

Mr. Huntley stated this and the next ordinance concern the same development. They need to rezone the property before they can consider the development plan. This will be known as the Slater Farm and is coming from the Plan Commission with a favorable recommendation. Mr. Busby moved to introduce, second Mrs. Hurst, five aye on introducing this ordinance.

#67-9-03 COUNCIL TO CONSIDER A PRELIMINARY DEVELOPMENT PLAN APPROVAL FOR THE 344 SINGLE-FAMILY HOMES AND A CHANGE OF ZONING FROM R-1 LOW DENSITY SINGLE FAMILY RESIDENTIAL PLANNED DEVELOPMENT FOR APPROXIMATELY 212 ACRES LOCATED ALONG THE NORTH AND SOUTH SIDES OF 169TH STREET BETWEEN GRAY ROAD AND NORTH OF 146TH STREET IN THE CITY OF NOBLESVILLE (STEVE HUNTLEY)

Mr. Huntley stated this is a follow up ordinance to the prior one. It is a planned development for the Slater Farm and is coming from the Plan Commission with a 13-0 vote. It received a favorable recommendation from the architectural review board. These homes will be priced from \$180,000.00 to over a half million dollars. Mrs. Hurst moved to introduce, second Mr. Busby, five aye. Mrs. Hurst stated in the staff reports there were modifications mentioned and she wanted to know if those had been resolved. Mr. Huntley stated they had.

#68-9-03 COUNCIL TO CONSIDER AN AMENDED PRELIMINARY DEVELOPMENT PLAN APPROVAL FOR 100 UNITS OF MULTI-FAMILY DEVELOPMENT ON APPROXIMATELY 17 ACRES WITHIN THE NOBLE WEST PLANNED DEVELOPMENT LOCATED ALONG THE WEST SIDE OF HAZEL DELL ROAD AND NORTH OF 146TH STREET IN THE CITY OF NOBLESVILLE (STEVE HUNTLEY)

Mr. Huntley stated one of the stipulations concerning the Noble West development was that the multi-family would come back as it was not reviewed. This is coming from the Plan Commission with a 13-0 favorable recommendation. It will be on the west side of Hazel Dell. The building also received a favorable recommendation from the architectural review board. Mr. Busby moved to introduce, second Mrs. Hurst, five aye.

**COMMON COUNCIL, CITY OF NOBLESVILLE
OCTOBER 14, 2003, PAGE II**

PREVIOUSLY DISCUSSED ORDINANCES

- #66-9-03 COUNCIL TO CONSIDER A CHANGE OF ZONING FROM SR SUBURBAN RESIDENTIAL TO R-1 LOW DENSITY SINGLE-FAMILY RESIDENTIAL FOR APPROXIMATELY 212 ACRES LOCATED ALONG THE NORTH AND SOUTH SIDES OF 169TH STREET BETWEEN GRAY ROAD AND HAZEL DELL ROAD IN NOBLESVILLE TOWNSHIP (STEVE HUNTLEY)

Mr. Wert stated this is coming from the Plan Commission with a favorable recommendation. Mrs. Hurst called the question. Mr. Hinds stated they talk about the type of homes that they have in inventory and where there are shortages. He is pleased that this development is coming in. The following roll call vote was recorded.

AYE: Dale Snelling, Laurie Hurst, Rex Dellinger, Alan Hinds, Terry Busby and James Snyder

Six aye, motion carries.

- #67-9-03 COUNCIL TO CONSIDER A PRELIMINARY DEVELOPMENT PLAN APPROVAL FOR THE 344 SINGLE-FAMILY HOMES AND A CHANGE OF ZONING FROM R-1 LOW DENSITY SINGLE-FAMILY RESIDENTIAL PLANNED DEVELOPMENT FOR APPROXIMATELY 212 ACRES LOCATED ALONG THE NORTH AND SOUTH SIDES OF 169TH STREET BETWEEN GRAY ROAD AND HAZEL DELL ROAD IN NOBLESVILLE TOWNSHIP (STEVE HUNTLEY)

Mr. Wert stated this is the PD that goes along with the rezone that just took place and also is coming from the Plan Commission with a favorable recommendation. Mr. Dillinger called the question. Mr. Hinds stated this asks for a change in an amendment from the preliminary development plan and he had an opportunity to look at this facility at the ARB. He lives just down the street from an affordable apartment complex that is mostly brick and he found this one to be somewhat exceptional because it has so much vinyl to it and when you are adding it to our community, they have more vinyl, more density and more traffic, it seems to be, oh no, he is sorry, he is on the wrong ordinance. The following roll call vote was recorded.

AYE: Terry Busby, Alan Hinds, Rex Dillinger, Laurie Hurst, Dale Snelling and James Snyder

Six aye, motion carries.

- #68-9-03 COUNCIL TO CONSIDER AN AMENDED PRELIMINARY DEVELOPMENT PLAN APPROVAL FOR 100 UNITS OF MULTI-FAMILY DEVELOPMENT ON APPROXIMATELY 17 ACRES WITHIN THE NOBLE WEST PLANNED DEVELOPMENT LOCATED ALONG THE WEST SIDE OF HAZEL DELL ROAD AND NORTH OF 146TH STREET IN THE CITY OF NOBLESVILLE (STEVE HUNTLEY)

Mr. Wert stated this is a development in the Noble West and is coming from the Plan Commission with a favorable recommendation. Mrs. Hurst stated she assumed Mr. Hinds has something to say. Mr. Hinds stated he would submit the comments as previously stated. Mrs. Hurst called the question and the following roll call vote was recorded.











10/29/2019 13:27