


950  
(B)

2016029915 ORDINANCE \$95.00  
06/24/2016 02:23:16P 43 PGS  
Jennifer Hayden  
HAMILTON County Recorder IN  
Recorded as Presented  


ORDINANCE NO. 32-05-16

AN ORDINANCE AMENDING THE ADOPTED PLANNED DEVELOPMENT ORDINANCES NO. 27-08-13 AS AMENDED AND ORDINANCE NO. 55-10-15 AS ALL INCLUSIVE TO THIS ORDINANCE AND THE AMENDMENT OF ADDITIONAL ACREAGE TO THE PRELIMINARY DEVELOPMENT PLAN AND THE UNIFIED DEVELOPMENT ORDINANCE NO. 62-12-95 AND ALL AMENDMENTS THERETO, A PART OF THE COMPREHENSIVE MASTER PLAN FOR THE CITY OF NOBLESVILLE, HAMILTON COUNTY, INDIANA

*Document Cross-Reference No.'s 2013059857 and 2015060397*

An Ordinance to amend the Ordinance No. 27-08-13 As Amended, Ordinance No. 55-10-15 and Unified Development Ordinance and Ordinance No. 62-12-95, and all amendments thereto for the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under the authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended, and

WHEREAS, the Plan Commission of the City of Noblesville has conducted a public hearing on Application No. 000454-2016 as required by law concerning the adoption of an Amended Preliminary Development Plan for "Terry Lee Crossing Planned Development", all a part of the Unified Development Ordinance and after due consideration has sent a favorable recommendation to the Council with a vote of 9 ayes and 1 nays at their May 16, 2016 meeting, and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance No. 62-12-95 for said City and the Official Zone Map, and the inclusion of all standards within

Ordinance No. 27-08-13 As Amended and Ordinance No. 55-10-15 and all amendments thereto are hereby amended as follows:

**SECTION 1** That the subject real estate bounded by State Road No. 37, Conner Street (State Road No. 32) and Presley Boulevard, legally described as per attached Exhibit A (The "Real Estate") is located within the zoning jurisdiction of the City of Noblesville, Hamilton County Indiana and is currently zoned "PB/PD Planned Business Planned Development" zoning district.

**SECTION 2.   Applicability of Ordinance.**

- 2.1 The Zoning Map is hereby changed to designate the subject real estate generally located east of State Road No. 37, south of Conner Street (State Road No. 32, and west and east of Presley Drive, and as per attached Exhibit B (boundary representation) as a Planned Development Overlay District to be known as "Terry Lee Crossing Planned Development" (the "District").
- 2.2 The District's underlying zoning district shall be the "PB Planned Business District". Development in this District shall be governed entirely by (i) the provisions of this Ordinance and its exhibits, and (ii) those provisions of the Unified Development Ordinance (UDO) in effect as of the date of July 13, 2013, and applicable to the Underlying District, except as modified, revised, supplemented, or expressly made inapplicable by this Ordinance (collectively, the "Governing Standards").
- 2.3 All provisions and representations of the UDO that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Ordinance.

**SECTION 3.   Permitted Uses.**

- 3.1 All uses allowed in the PB (Planned Business) Zoning District are permitted as a part of the "Terry Lee Crossing Planned Development" Ordinance, excluding the following uses: *Temporary Shelters; Church, Temple, or Place of Worship; Penal or Correctional Facility; Adult Cabaret; Adult Media Store; Adult Motion Picture Theater; Sex Shop; and Supply Yard.*

**SECTION 4. Preliminary Development Plan.**

- 4.1 The Preliminary Development Plan is hereby incorporated and approved as per attached Exhibit C. Pursuant to Article 8 – Zoning Districts, Part C. Commercial Districts, specifically Section 4. Planned Business section of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations and/or waivers from the Underlying District and layout of said District.

**SECTION 5. Development Standards.**

- 5.1 The bulk requirements applicable to the Underlying District shall apply as per the UDO dated July 13, 2013 with the following exceptions:
- 5.1.1 The bulk standards of Article 8 – Zoning Districts, Part C. Commercial Districts of the UDO shall apply to the development of the Real Estate except as modified by the “Development Guidelines” as per attached Exhibit D.
- 5.1.2 The “Architectural Elevations” are attached hereto as Exhibit E.

**SECTION 6. Parking and Loading Standards.**

The parking standards of Article 10 – Off-Street Parking and Loading of the UDO shall apply to the development of the Real Estate.

**SECTION 7. Landscaping and Open Space Standards.**

- 7.1 The landscaping standards of Article 12 – Landscaping and Screening of the UDO shall apply to the development of the Real Estate except as modified by the “Landscaping Development Standards” as per attached Exhibit F.
- 7.1.1 Landscaping Mulch Material.  
Mulch shall be a natural color and material including shredded hardwood and decorative stone mulches. In areas where stone mulch is used, plants shall be irrigated and a non-woven geotextile fabric shall be placed under the aggregate mulch.

**SECTION 8. Lighting Standards.**

8.1 The applicable lighting standards of Article 13 – Environmental Performance Standards and the Noblesville Standards of the UDO shall apply to the development of the Real Estate except as modified by the “Lighting Pole and Fixture Design” as per attached Exhibit G and shall serve as the development standard under the “Terry Lee Crossing Planned Development” Ordinance.

8.1.1 The maximum pole and base height shall be twenty-five (25) feet.

8.1.2 Building flood lighting is acceptable and encouraged as a part of the overall project design of the Real Estate.

**SECTION 9. Sign Standards.**

The applicable sign standards of Article 11 – Signs of the UDO shall apply to the development of the Real Estate except as modified by the “Sign Development Guidelines” as per attached Exhibit H.

**SECTION 10. Vacation of a Portion of Cumberland Road.**

As a part of the development of the Real Estate, a portion of Cumberland Road shall be vacated as shown on and attached as per Exhibit I and shall be vacated in its entirety to Terry Lee Crossing, LLC, an Indiana Limited Liability Company, or its successor in interest.

**SECTION 11. Infrastructure Standards.**

All public infrastructure within and adjacent to said Real Estate shall adhere to the City’s Noblesville Standards and design criteria.

**SECTION 12. Detailed Development Plan.**

Approval of the Detailed Development Plan (“DDP”) shall follow the procedures set forth in Article 8 – Zoning Districts of the UDO, subject to the following clarification: (i) the Director of Planning and Development shall approve “Minor Changes” as per the UDO and (ii) if a DDP includes a “Major Change” from the approved Preliminary Development Plan, then prior to the approval of the DDP, an amended Preliminary Development Plan shall be approved in accordance

with Article 8 – Zoning Districts, Part H. Special Districts, Section 3. Planned Development Overlay District requirements as per the UDO. A Secondary Plat shall be submitted for review and approval as a part of any approved Detailed Development Plan.

**SECTION 13.** Unless a development standard, specification, guideline, and/or requirement contained in the Unified Development Ordinance is varied, altered, or modified by this ordinance and/or exhibits, then such development standards, specifications, guidelines, and/or requirements as specified in the Unified Development Ordinance shall apply.

**SECTION 14.** As a portion of said Real Estate is located within a “Special Flood Hazard Area” within the jurisdiction of the City of Noblesville as per the adopted Flood Insurance Rate Maps dated November 19, 2014 and prepared by the Federal Emergency Management Agency (FEMA), the aforementioned changes are subject to the submission to the City of Noblesville, of an approved “Letter of Map Revision” from the Federal Emergency Management Agency subject to the UDO requirements regulating the “Flood Hazard (FH) District and prior to the issuance of a “Final Certificate of Occupancy” for any and all buildings or structures on said real estate and located in the “FH Flood Hazard” zoning district.

**SECTION 15.** This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law. Prior Ordinance No. 27-08-13 As Amended and Ordinance No. 55-10-15 are hereby incorporated as a part of this Ordinance and shall be repealed and deemed to conform to the provisions of this Ordinance..

*Intentionally Left Blank*

the members of the Common Council this 14<sup>th</sup> day of June, 2016.

## COMMON COUNCIL

AYE

NAY

Brian Ayer

Mark Boice

Wil Hampton

Christopher Jensen

Roy Johnson

Gregory P. O'Connor

Mary Sue Rowland

Rick L. Taylor

Megan G. Wiles

Approved and signed by the Mayor of the City of Noblesville, Hamilton County,  
Indiana, this 14<sup>th</sup> day of June, 2016.

John Ditslear, Mayor  
City of Noblesville, Indiana

ATTEST:

*Evelyn L. Lees*  
Evelyn L. Lees, Clerk



I, affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Joyceann Yelton  
Printed Name of Declarant

Prepared by: Joyceann Yelton, Senior Planner, City of Noblesville, 16 South 10<sup>th</sup> Street, Noblesville, IN 46060 (317) 776-6325

EXHIBIT A

*Legal Description*

## LEGAL DESCRIPTION

A part of the Northwest Quarter of Section 5, Township 18 North, Range 5 East and the West Half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Second Principal Meridian in Noblesville Township of Hamilton County, Indiana.

Commencing at the Southwest corner of the Southwest Quarter of Section 32, Township 19 North, Range 5 East; thence North 89 degrees 36 minutes 03 seconds East (assumed bearing) along the South line of said Quarter Section 193.38 feet to the Northwest corner of the Northwest Quarter of Section 5, Township 18 North, Range 5 East; thence continue North 89 degrees 36 minutes 03 seconds East along said South line 1139.40 feet to the Southeast corner of said West Half and the point of beginning of the following described real estate: thence continue along said South line North 89 degrees 36 minutes 03 seconds East a distance of 1327.54 feet to the Southeast corner of the Southwest Quarter of Section 32; thence North 89 degrees 21 minutes 25 seconds East along the North line of the Northwest Quarter of Section 5 a distance of 202.13 feet to the Northeast corner of the Northwest Quarter of Section 5; thence South 00 degrees 04 minutes 07 seconds East along the East line of said Northwest Quarter a distance of 1002.07 feet to the centerline of the abandoned Central Indiana Railroad, being on a curve with a radius of 5729.58 feet; thence along said curve to the right an arc distance of 189.90 feet, said curve being subtended by a chord bearing South 88 degrees 34 minutes 05 seconds West 189.89 feet; thence South 89 degrees 31 minutes 02 seconds West a distance of 2572.68 feet to a point in the centerline of State Road No. 37 per I.S.H.C. plans for Project No. 824(1), dated 1954, Sheet 15 therein, said point being on a nontangent point on a curve concave to the East, having a radius of 3,819.72 feet and a long chord which bears North 08 degrees 57 minutes 26 seconds East 1234.87 feet; thence along said curve to the right an arc distance of 1240.31 feet to the point of tangency thereof; thence North 18 degrees 15 minutes 31 seconds East 473.50 feet to the intersection with State Roads No. 32 & 38 being marked with a brass plug; thence North 88 degrees 50 minutes 58 seconds East along said centerline 612.96 feet to the point of curvature of a curve concave to the South, having a radius of 5694.58 feet and a long chord which bears North 89 degrees 21 minutes 25 seconds East 100.86 feet; thence along said curve to the right an arc distance of 100.86 feet to the Northwest corner of real estate as contained in Instrument No. 98-72645 of said Recorder's Office; thence South 00 degrees 05 minutes 39 seconds West 114.37 feet to the point of curvature of a curve concave to the West, having a radius of 301.62 feet and a long chord which bears South 08 degrees 31 minutes 11 seconds West 88.39 feet; thence along said curve to the right an arc distance of 88.71 feet to the Southwest corner of said real estate thereof; thence South 74 degrees 50 minutes 08 seconds East 85.87 feet to the Southeast corner; thence North 74 degrees 13 minutes 52 seconds East 110.72 feet to the Southeast corner of real estate as contained in Instrument No. 88-04544 and found in said Recorder's Office, said point also being on the East line of the West Half of said Southwest Quarter of Section 32; thence South 00 degrees 08 minutes 19 seconds East along said East line 471.78 feet to the point of beginning. Containing 77.178 acres, more or less, including right of way.



Also,

Part of the Northwest Quarter of Section 5, Township 18 North, Range 5 East and the East Half of the Southwest Quarter of Section 32, Township 19 North, Range 5 East of the Second Principal Meridian in Noblesville Township of Hamilton County, Indiana.

Commencing at the Southwest corner of the Southwest Quarter of Section 32, Township 19 North, Range 5 East; thence North 89 degrees 36 minutes 03 seconds East (assumed bearing) along the South line of said Quarter Section 193.38 feet to the Northwest corner of the Northwest Quarter of Section 5, Township 18 North, Range 5 East; thence continue North 89 degrees 36 minutes 03 seconds East along said South line 1139.40 feet to the Southwest corner of the East Half of said Southwest Quarter, being the Point of Beginning; thence North 00 degrees 08 minutes 19 seconds West along the West line of said East Half a distance of 471.78 feet to the southwest corner of a land tract conveyed to Field Rubber Products Inc. by Instrument Number 9204171 (the next two courses being along the southern lines of said land tract; (1) thence North 86 degrees 59 minutes 44 seconds East a distance of 222.00 feet; (2) thence North 69 degrees 04 minutes 44 seconds East a distance of 182.82 feet; thence parallel with the West line of said East Half South 0 degrees 08 minutes 19 seconds East a distance of 545.96 feet to the South line of said Southwest Quarter; thence South 89 degrees 36 minutes 03 seconds West along the South line of said Southwest Quarter a distance of 392.65 feet to the Point of Beginning. Containing 4.444 acres, including right of way.

## EXHIBIT B

*Boundary Representation*



## BOUNDARY REPRESENTATION



May 10, 2016

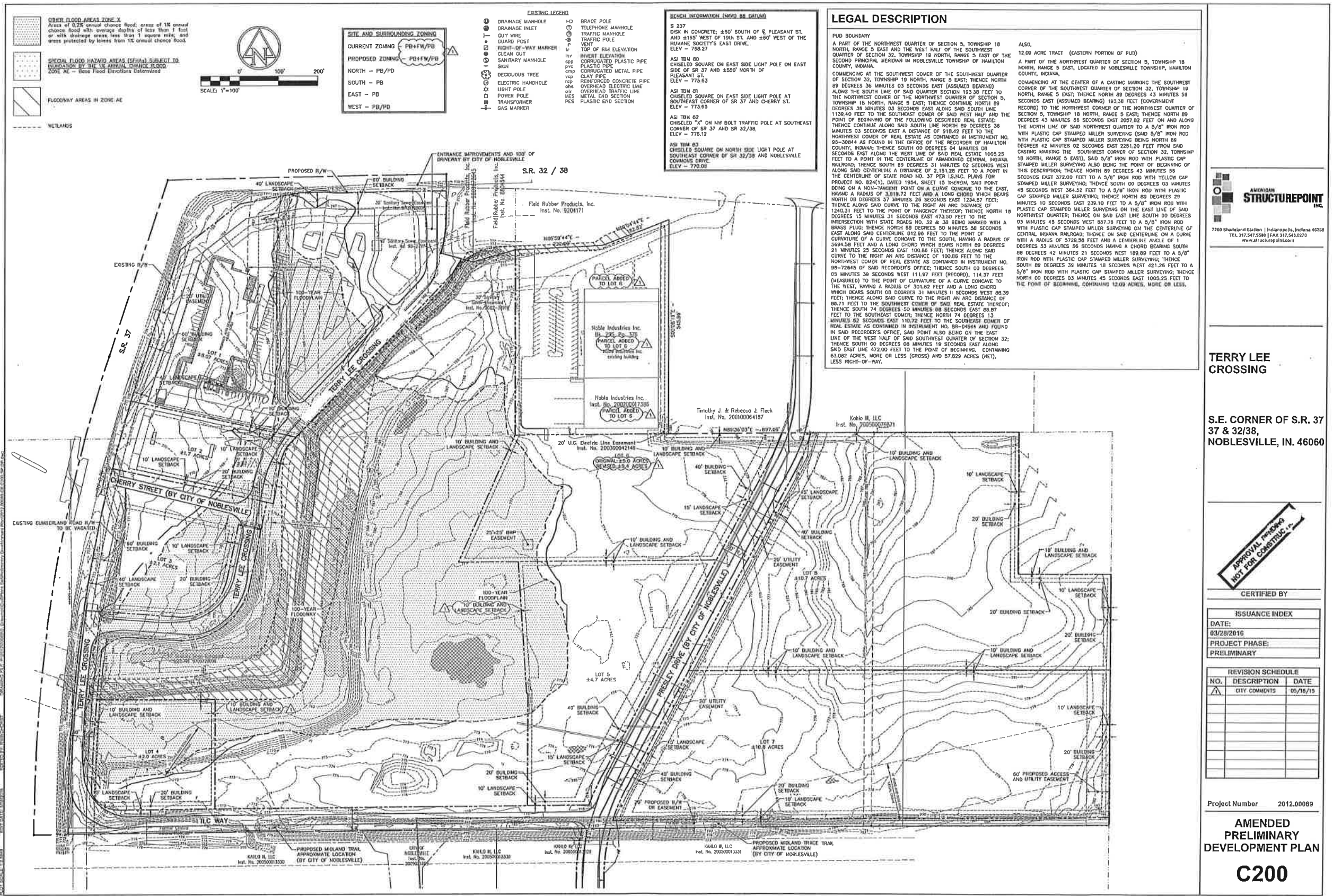


Parcels

## EXHIBIT C

### *Preliminary Development Plan*





**OTHER FLOOD AREAS ZONE X**  
Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile, and areas protected by levees from 1% annual chance flood.

**SPECIAL FLOOD HAZARD AREAS (SFHA) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD**  
ZONE AE - Base Flood Elevations Determined

**FLOODWAY AREAS IN ZONE AE**

**WETLANDS**

**SITE AND SURROUNDING ZONING**

CURRENT ZONING - PB+FW/PB

PROPOSED ZONING - PB+FW/PB

NORTH - PB/PD  
SOUTH - PB  
EAST - PB  
WEST - PB/PD

- EXISTING LEGEND**
- DRAINAGE MANHOLE
  - TRAFFIC MANHOLE
  - TRAFFIC POLE
  - GUARD POST
  - RIGHT-OF-WAY MARKER
  - CLEAN OUT
  - SANITARY MANHOLE
  - SIGN
  - DECIDUOUS TREE
  - ELECTRIC HANDHOLE
  - LIGHT POLE
  - POWER POLE
  - TRANSFORMER
  - GAS MARKER
  - BRACE POLE
  - TELEPHONE MANHOLE
  - TRAFFIC MANHOLE
  - TRAFFIC POLE
  - VENT
  - TOP OF RIM ELEVATION
  - INVERT ELEVATION
  - CORRUGATED METAL PIPE
  - PLASTIC PIPE
  - CORRUGATED METAL PIPE
  - CLAY PIPE
  - REINFORCED CONCRETE PIPE
  - OVERHEAD ELECTRIC LINE
  - OVERHEAD TRAFFIC LINE
  - METAL END SECTION
  - PLASTIC END SECTION

**BENCH INFORMATION (MAY 88 DATUM)**

S 237  
DISK IN CONCRETE; ±50' SOUTH OF E PLEASANT ST. AND ±165' WEST OF 19TH ST. AND ±60' WEST OF THE HUNTER SOCIETY'S EAST DRIVE.  
ELEV - 768.57

ASI TBM 80  
CHISELED SQUARE ON EAST SIDE LIGHT POLE ON EAST SIDE OF SR 37 AND ±550' NORTH OF PLEASANT ST.  
ELEV - 775.63

ASI TBM 81  
CHISELED SQUARE ON EAST SIDE LIGHT POLE AT SOUTHEAST CORNER OF SR 37 AND CHERRY ST.  
ELEV - 775.65

ASI TBM 82  
CHISELED "M" ON HW BOLT TRAFFIC POLE AT SOUTHEAST CORNER OF SR 37 AND SR 32/38.  
ELEV - 776.12

ASI TBM 83  
CHISELED SQUARE ON NORTH SIDE LIGHT POLE AT SOUTHEAST CORNER OF SR 32/38 AND NOBLESVILLE COMMONS DRIVE.  
ELEV - 775.08

**LEGAL DESCRIPTION**

PUD BOUNDARY

A PART OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 18 NORTH, RANGE 5 EAST AND THE WEST HALF OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 18 NORTH, RANGE 5 EAST OF THE SECOND PRINCIPAL MERIDIAN IN NOBLESVILLE TOWNSHIP OF HAMILTON COUNTY, INDIANA.

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 18 NORTH, RANGE 5 EAST; THENCE NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST (ASSUMED BEARING) ALONG THE SOUTH LINE OF SAID QUARTER SECTION 193.38 FEET TO THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SECTION 5, TOWNSHIP 18 NORTH, RANGE 5 EAST; THENCE CONTINUE NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST ALONG SAID SOUTH LINE 1130.40 FEET TO THE SOUTHWEST CORNER OF SAID WEST HALF AND THE POINT OF BEGINNING OF THE FOLLOWING DESCRIBED REAL ESTATE; THENCE CONTINUE ALONG SAID SOUTH LINE NORTH 89 DEGREES 36 MINUTES 03 SECONDS EAST A DISTANCE OF 918.42 FEET TO THE NORTHWEST CORNER OF REAL ESTATE AS CONTAINED IN INSTRUMENT NO. 98-30844 AS FOUND IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA; THENCE SOUTH 00 DEGREES 04 MINUTES 09 SECONDS EAST ALONG THE WEST LINE OF SAID REAL ESTATE 1005.25 FEET TO A POINT IN THE CENTERLINE OF ABANDONED CENTRAL INDIANA RAILROAD; THENCE SOUTH 89 DEGREES 31 MINUTES 02 SECONDS WEST ALONG SAID CENTERLINE A DISTANCE OF 2,151.28 FEET TO A POINT IN THE CENTERLINE OF STATE ROAD NO. 37 PER I.S.L.C. PLANS FOR PROJECT NO. 824(1), DATED 1984, SHEET 15 THEREIN, SAID POINT BEING ON A NON-TANGENT POINT ON A CURVE CONVEYING TO THE EAST, HAVING A RADIUS OF 3,819.72 FEET AND A LONG CHORD WHICH BEARS NORTH 08 DEGREES 57 MINUTES 26 SECONDS EAST 1234.87 FEET; THENCE ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 1240.31 FEET TO THE POINT OF TANGENCY THEREOF; THENCE NORTH 18 DEGREES 15 MINUTES 31 SECONDS EAST 473.50 FEET TO THE INTERSECTION WITH STATE ROADS NO. 32 & 38 BEING MARKED WITH A BRASS PLUS; THENCE NORTH 88 DEGREES 50 MINUTES 58 SECONDS EAST ALONG SAID CENTERLINE 812.86 FEET TO THE POINT OF CURVATURE OF A CURVE CONVEYING TO THE SOUTH, HAVING A RADIUS OF 5694.56 FEET AND A LONG CHORD WHICH BEARS NORTH 89 DEGREES 21 MINUTES 29 SECONDS EAST 100.84 FEET; THENCE ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 100.86 FEET TO THE NORTHWEST CORNER OF REAL ESTATE AS CONTAINED IN INSTRUMENT NO. 98-72645 OF SAID RECORDER'S OFFICE; THENCE SOUTH 00 DEGREES 09 MINUTES 30 SECONDS WEST 11.07 FEET (RECORD), 114.37 FEET (MEASURED) TO THE POINT OF CURVATURE OF A CURVE CONVEYING TO THE WEST, HAVING A RADIUS OF 301.62 FEET AND A LONG CHORD WHICH BEARS SOUTH 08 DEGREES 31 MINUTES 11 SECONDS WEST 89.39 FEET; THENCE ALONG SAID CURVE TO THE RIGHT AN ARC DISTANCE OF 88.71 FEET TO THE SOUTHWEST CORNER OF SAID REAL ESTATE THEREOF; THENCE SOUTH 74 DEGREES 50 MINUTES 08 SECONDS EAST 88.87 FEET TO THE SOUTHEAST CORNER, THENCE NORTH 74 DEGREES 13 MINUTES 02 SECONDS EAST 110.72 FEET TO THE SOUTHEAST CORNER OF REAL ESTATE AS CONTAINED IN INSTRUMENT NO. 88-04544 AND FOUND IN SAID RECORDER'S OFFICE, SAID POINT ALSO BEING ON THE EAST LINE OF THE WEST HALF OF SAID SOUTHWEST QUARTER OF SECTION 32; THENCE SOUTH 00 DEGREES 09 MINUTES 19 SECONDS EAST ALONG SAID EAST LINE 472.00 FEET TO THE POINT OF BEGINNING, CONTAINING 63.082 ACRES, MORE OR LESS (GROSS) AND 57.829 ACRES (NET), LESS RIGHT-OF-WAY.

ALSO,

12.08 ACRE TRACT (EASTERN PORTION OF PUD)

A PART OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 18 NORTH, RANGE 5 EAST, LOCATED IN NOBLESVILLE TOWNSHIP, HAMILTON COUNTY, INDIANA.

COMMENCING AT THE CENTER OF A CASTING MARKING THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 18 NORTH, RANGE 5 EAST; THENCE NORTH 89 DEGREES 43 MINUTES 58 SECONDS EAST 2007.82 FEET ON AND ALONG THE NORTH LINE OF SAID NORTHWEST QUARTER TO A 5/8" IRON ROD WITH PLASTIC CAP STAMPED MILLER SURVEYING (SAID 5/8" IRON ROD WITH PLASTIC CAP STAMPED MILLER SURVEYING BEING NORTH 88 DEGREES 42 MINUTES 02 SECONDS EAST 2251.20 FEET FROM SAID CASTING MARKING THE SOUTHWEST CORNER OF SECTION 32, TOWNSHIP 18 NORTH, RANGE 5 EAST); SAID 5/8" IRON ROD WITH PLASTIC CAP STAMPED MILLER SURVEYING ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 89 DEGREES 43 MINUTES 58 SECONDS EAST 372.00 FEET TO A 5/8" IRON ROD WITH YELLOW CAP STAMPED MILLER SURVEYING; THENCE NORTH 89 DEGREES 29 MINUTES 10 SECONDS EAST 238.10 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP STAMPED MILLER SURVEYING ON THE EAST LINE OF SAID NORTHWEST QUARTER; THENCE ON SAID EAST LINE SOUTH 00 DEGREES 03 MINUTES 49 SECONDS WEST 837.78 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP STAMPED MILLER SURVEYING ON THE CENTERLINE OF CENTRAL INDIANA RAILROAD; THENCE ON SAID CENTERLINE ON A CURVE WITH A RADIUS OF 5728.56 FEET AND A CENTERLINE ANGLE OF 1 DEGREES 43 MINUTES 56 SECONDS HAVING A CHORD BEARING SOUTH 88 DEGREES 42 MINUTES 21 SECONDS WEST 189.89 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP STAMPED MILLER SURVEYING; THENCE SOUTH 89 DEGREES 36 MINUTES 18 SECONDS WEST 421.26 FEET TO A 5/8" IRON ROD WITH PLASTIC CAP STAMPED MILLER SURVEYING; THENCE NORTH 00 DEGREES 03 MINUTES 45 SECONDS EAST 1005.25 FEET TO THE POINT OF BEGINNING, CONTAINING 12.08 ACRES, MORE OR LESS.

**AMERICAN STRUCTUREPOINT INC.**

7260 Shadeland Glades | Indianapolis, Indiana 46250  
TEL 317.547.5580 | FAX 317.543.0270  
www.structurespoint.com

**TERRY LEE CROSSING**

**S.E. CORNER OF S.R. 37 & 32/38, NOBLESVILLE, IN. 46060**

**APPROVAL / REVIEW NOT FOR CONSTRUCTION**

CERTIFIED BY	
ISSUANCE INDEX	
DATE:	03/28/2016
PROJECT PHASE:	PRELIMINARY

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	CITY COMMENTS	05/16/15

Project Number 2012.00089

**AMENDED PRELIMINARY DEVELOPMENT PLAN**

**C200**

## EXHIBIT D

### *Development Guidelines*

## **Development Guidelines**

### **Application.**

Except as otherwise specified, the Development Guidelines contained in this Exhibit shall apply to all buildings designed and constructed on the Real Estate.

### **Materials and Exterior Building Finishes.**

All buildings shall be designed and constructed in the Real Estate shall follow a consistent architectural theme with building materials and colors. All exterior sides of the buildings shall be finished in approved materials and colors. The selection of materials for Real Estate shall be evaluated based on their permanence, ability to withstand weather conditions and visual appearance.

Any number of materials may be used for the design of the Real Estate. The following is a list of acceptable materials:

- a. Face brick
- b. Aluminum Composite Material (Alucobond or equal)
- c. Splitface; scored split, scored smooth or fluted masonry units
- d. Quik Brik
- e. Glass block
- f. Pre-cast concrete
- g. Cast stone
- h. Colored/decorative concrete
- i. Limestone
- j. Simulated stone
- k. E.I.F.S.
- l. Terracotta
- m. Stained wood
- n. Glass (clear, color, sand blast, etched, etc.)
- o. Storefront (aluminum, wood, steel)
- p. Curtain Wall
- q. Exposed structure
- r. Concrete, brick or asphalt pavers
- s. Porcelain and/or ceramic tile
- t. Textured paint
- u. Clay or colored concrete roof tiles
- v. Dimensional asphalt shingle roof
- w. Standing seam metal roof
- x. Slate Roof
- y. Synthetic slate roof

### **Primary Facades.**

All primary facades of a building built on the Real Estate shall be designed with consistent style, detail and trim features. No building façade shall extend for a distance greater than two (2) times its average height without a vertical offset, material change or color and texture change. Articulation may also be achieved by a variety of roof planes and/or slopes. Primary facades shall incorporate building elements such as lighting fixtures and changes in wall surfaces such as awnings, canopies, alcoves, accents, windows, a variety of entry configurations, cornices, pilasters, columns or other building elements that contribute to the human scale of the building.

### **Secondary Facades.**

Side and rear facades of a building built in the Real Estate shall be finished in similar colors as the primary facades. Secondary facades immediately adjacent to a primary façade shall wrap around the building by incorporating building materials and detailing of the primary façade, for a minimum of 30 percent of the overall wall length, measured from the primary façade. Secondary facades shall incorporate building elements such as pilasters, wainscots, accent banding or other building elements that contribute to the appropriate scale of the building.

### **Service Courts and/or Screen Walls.**

Service Courts and Screen Walls will be comprised of painted or integral colored masonry. Colors shall be consistent with the base colors of the primary and/or secondary facades. Where portions of the service court wall(s) are exposed, additional enhancements will be incorporated that are consistent with the requirements for secondary facades.

All trash dumpsters or containers will be screened from view and incorporate gates constructed of steel and composite materials (no wood) painted to be consistent with the colors of the primary and/or secondary facades and fitted with latches capable of maintaining the gates in a closed position. Dumpster screening shall meet the requirements of Section 8, Part B.1 of Article 12: Landscaping and Screening of the UDO.

All rooftop HVAC equipment will be screened from view and by elements of the building such as parapets, not by roof mounted screens.



### Setback Lines.

The Building and Landscaping Setback Lines for each Lot of the Real Estate shall be as shown on the Preliminary Development Plan as follows:

- A. Lot 1 of the Preliminary Development Plan ("Dealership Lot"):
  - 1. Front Yard Building Setback Line (facing S.R. 37 and facing S.R. 32/38) shall be Sixty (60) feet.
  - 2. Front Yard Building Landscaping Setback Line (facing S.R. 37 and facing 32/38) shall be Forty (40) feet.
  - 3. Side Yard Building Setback Line shall be Ten (10) feet.
- B. Lot 2 of the Preliminary Development Plan:
  - 1. Front Yard Building Setback Line (facing S.R. 37) shall be Sixty (60) feet.
  - 2. Front Yard Building Landscaping Setback Line (facing S.R. 37) shall be Forty (40) feet.
  - 3. Front Yard Building Setback Line (facing Cherry Street) shall be Twenty (20) feet.
  - 4. Front Yard Building Landscaping Setback Line (facing Cherry Street) shall be Ten (10) feet.
  - 5. Side Yard Building Setback Line shall be Ten (10) feet.
- C. Lot 3 of the Preliminary Development Plan
  - 1. Front Yard Building Setback Line (facing S.R. 37) shall be Sixty (60) feet.
  - 2. Front Yard Building Landscaping Setback Line (facing S.R. 37) shall be Forty (40) feet.
  - 3. Front Yard Building Setback Line (facing Cherry Street) shall be Twenty (20) feet.
  - 4. Front Yard Building Landscaping Setback Line (facing Cherry Street) shall be Ten (10) feet.

D. Lot 4 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing West Drive) shall be Twenty (20) feet along the southern property line only.
2. Front Yard Building Landscaping Setback Line (facing West Drive) shall be Ten (10) feet along the southern property line only.
3. Side Yard Building Setback Line shall be Ten (10) feet for the portion of West Drive along S.R. 37.
4. Side Yard Building Landscaping Setback Line shall be Ten (10) feet for the portion of West Drive along S.R. 37.

E. Lot 5 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing Presley Drive) shall be Forty (40) feet.
2. Front Yard Building Landscaping Setback Line (facing Presley Drive) shall be Fifteen (15) feet.
3. Front Yard Building Setback Line (facing West Drive) shall be Twenty (20) feet.
4. Front Yard Building Landscaping Setback Line (facing West Drive) shall be Ten (10) feet.
5. Side Yard Building Setback Line shall be Ten (10) feet.
6. Side Yard Building Landscaping Setback Line shall be Ten (10) feet.

F. Lot 6 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing Presley Drive) shall be Forty (40) feet.
2. Front Yard Building Landscaping Setback Line (facing Presley Drive) shall be Fifteen (15) feet.
3. Side Yard Building Setback Line shall be Ten (10) feet.
4. Side Yard Building Landscaping Setback Line shall be Ten (10) feet.

G. Lot 7 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing Presley Drive) shall be Forty (40) feet.
2. Front Yard Building Landscaping Setback Line (facing Presley Drive) shall be Fifteen (15) feet.
3. Side Yard Building Setback Line (facing proposed Midland Trail) shall be Twenty (20) feet.
4. Side Yard Building Landscaping Setback Line (facing proposed Midland Trail) shall be Ten (10) feet.
5. Rear Yard Building Setback Line shall be Twenty (20) feet.
6. Rear Yard Building Landscaping Setback Line shall be Ten (10) feet.
7. Side Yard Building Setback Line shall be Ten (10) feet.
8. Side Yard Building Landscaping Setback Line shall be Ten (10) feet.

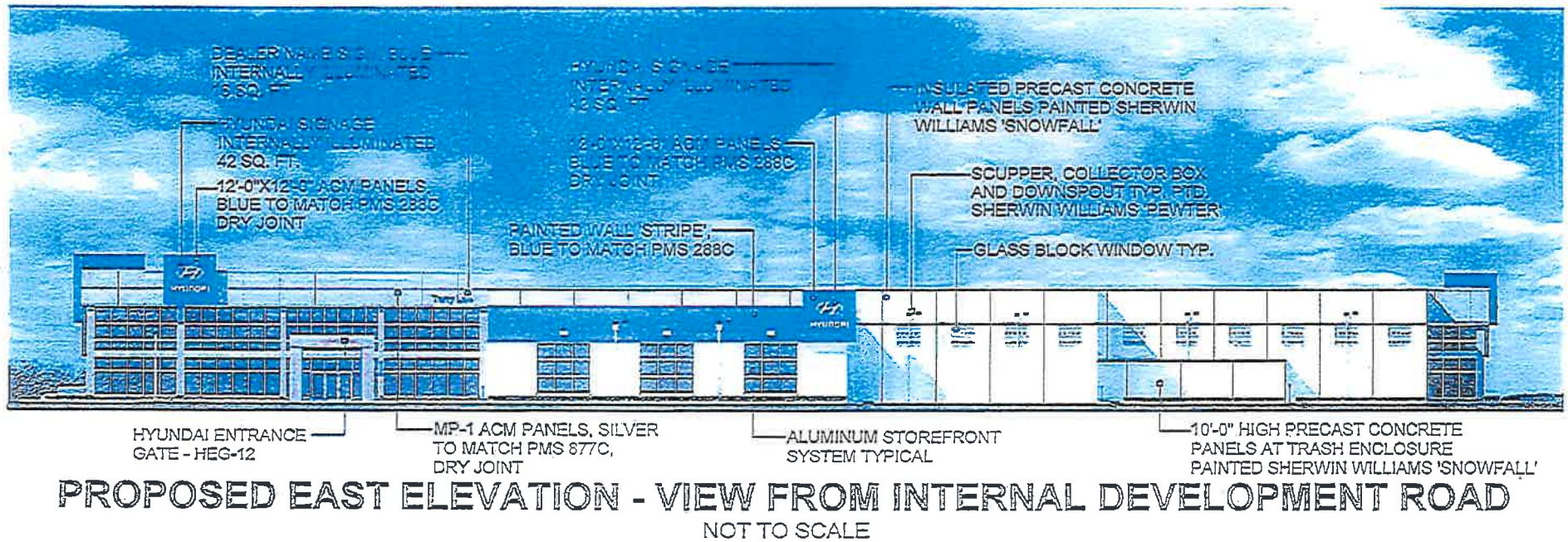
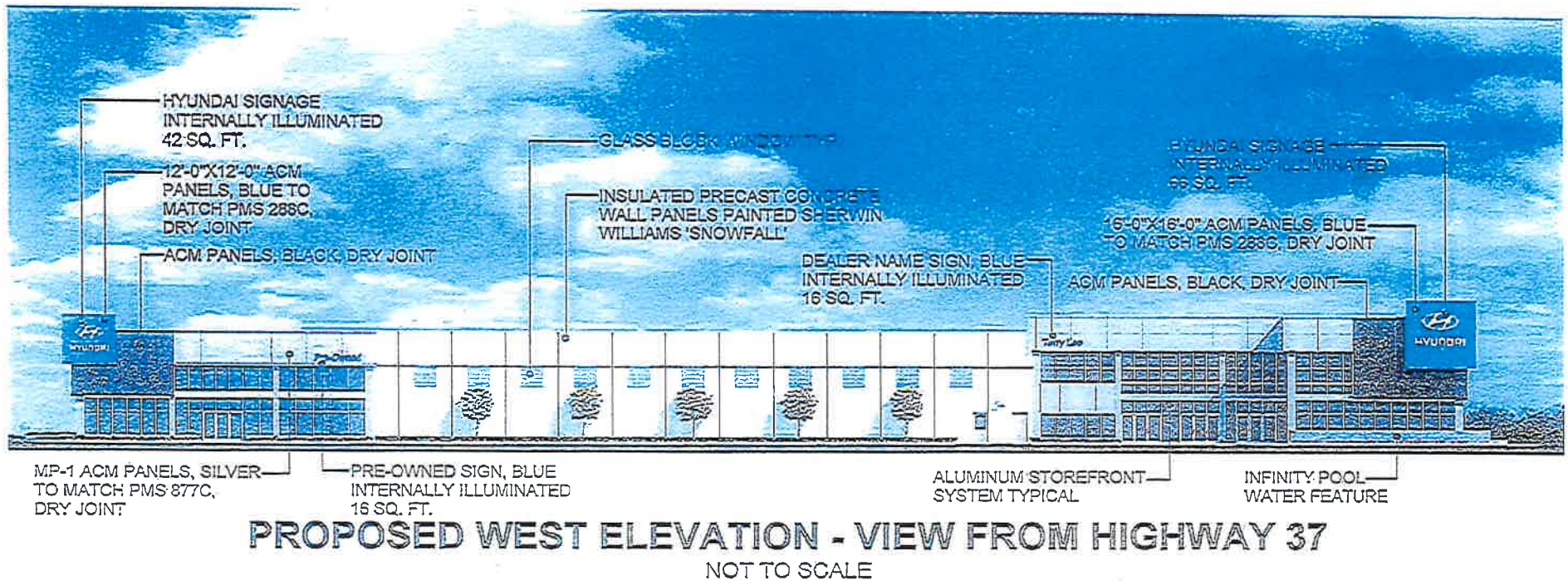
H. Lot 8 of the Preliminary Development Plan

1. Front Yard Building Setback Line (facing Presley Drive) shall be Forty (40) feet.
2. Front Yard Building Landscaping Setback Line (facing Presley Drive) shall be Fifteen (15) feet.
3. Rear Yard Building Setback Line shall be Twenty (20) feet.
4. Rear Yard Building Landscaping Setback Line shall be Ten (10) feet.
5. Side Yard Building Setback Line shall be Ten (10) feet.
6. Side Yard Building Landscaping Setback Line shall be Ten (10) feet.

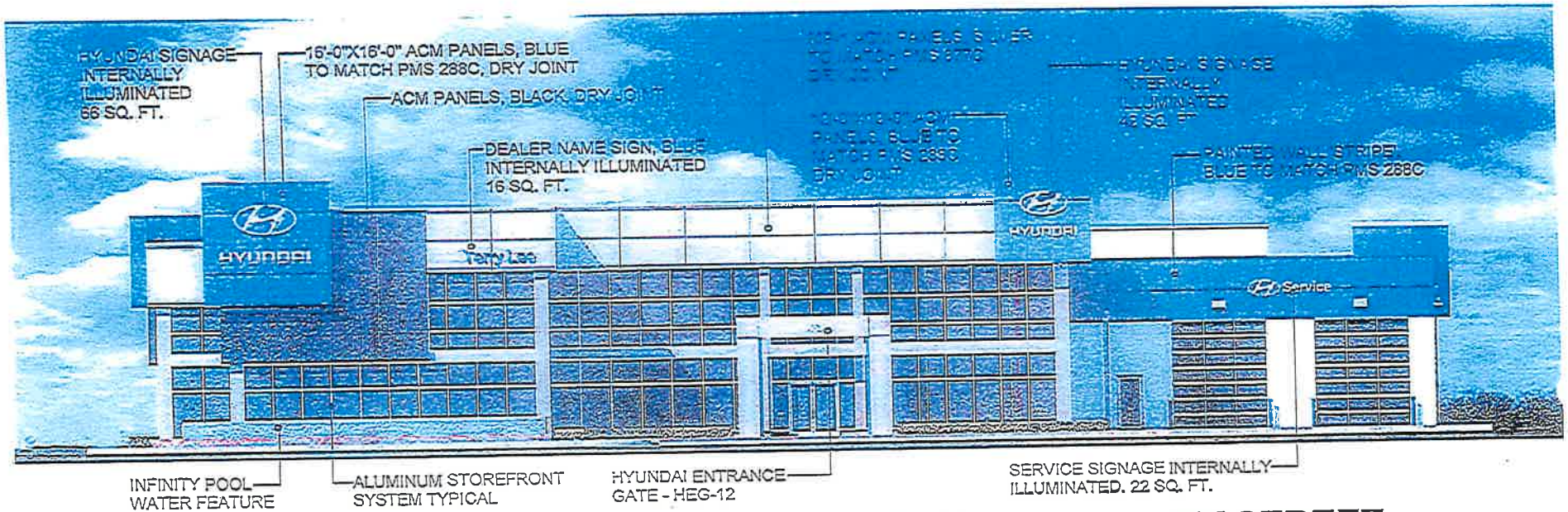
## EXHIBIT E

### *Architectural Elevations*

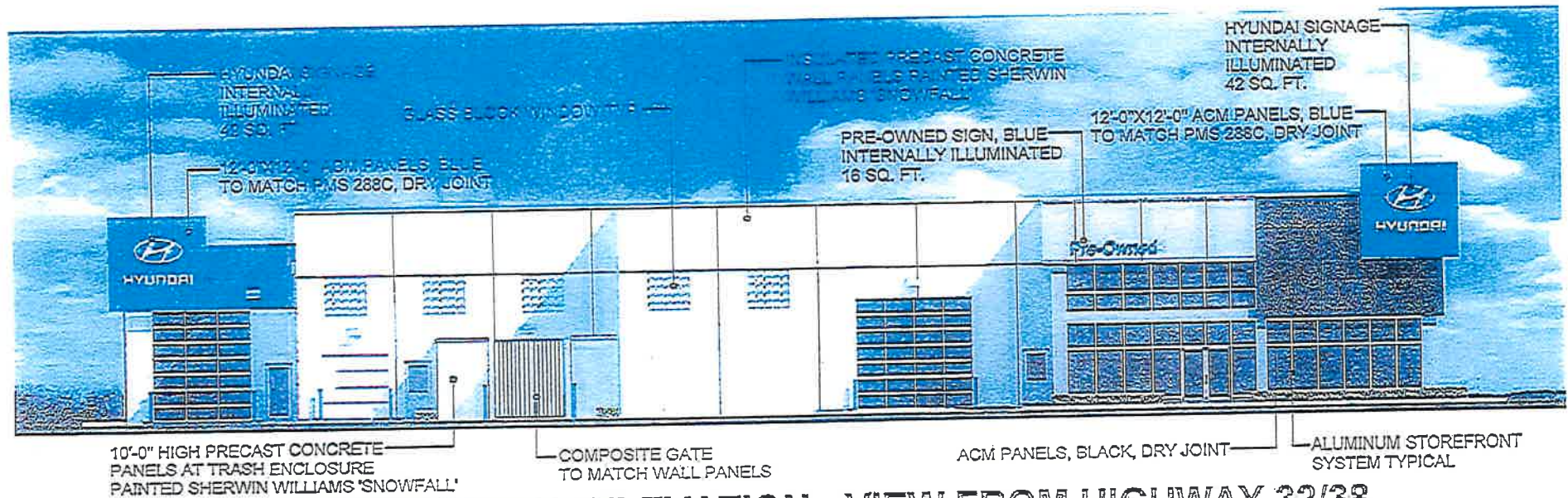








**PROPOSED SOUTH ELEVATION - VIEW FROM CHERRY STREET**  
NOT TO SCALE



**PROPOSED NORTH ELEVATION - VIEW FROM HIGHWAY 32/38**  
NOT TO SCALE

## EXHIBIT F

### *Landscaping Development Standards*



## Landscaping Development Standards

### Application.

Unless otherwise specified, the Landscaping Development Standards contained in this Exhibit E shall apply to the landscaping in the Real Estate. A landscaping plan has been prepared and submitted as part of the Detailed Development Plan for Lot 1 of the Preliminary Development Plan ("Dealership Lot"). A copy of the landscaping plan is included in this Exhibit

### General Landscape Standards

All trees, shrubs, and ground covers shall be planted according to American Standard for Nursery Stock and following the standards set forth in this Exhibit D. Landscaping materials shall be appropriate for local growing and climatic conditions.

Areas to receive landscaping shall include the following:

- Buffers
- Building Base
- Parking Interior
- Parking Perimeter
- Utility and Detention Areas
- Street Trees

Minimum plant sizes shall be as follows at the time of planting:

- Canopy Trees: 2.5" caliper inches
- Ornamental Trees: 1.5 caliper inches/6 feet in height for clump forms
- Evergreen Trees: 6 feet in height
- Shrubs: 18 inches in height or 18" in spread for low growing shrubs
- Ornamental Grasses: 24"

Additional criteria for defining plant material characteristics and sizes shall be governed by Section 4 of Article 12: Landscaping and Screening of the UDO. Existing trees may be used to achieve project landscape requirements in accordance with Section 12 of Article 12: Landscaping and Screening of the UDO. If the City of Noblesville in the future adopts a Low Impact Development ("LID") Ordinance, the City's LID Ordinance provisions may be applied to



achieve project landscaping requirements; provided however, that any stricter developments standards under the future LID Ordinance shall not apply to the Landscaping Development Standards enacted as part of the Terry Lee Crossing PD Ordinance.

All landscape material required under the Terry Lee Crossing PD Ordinance shall be installed prior to the issuance of the Certificate of Occupancy. In the event that weather conditions prohibit the ability to install required landscape material, the property owner shall request a temporary certificate of occupancy, which shall be conditioned upon a determined time frame to complete the installation of all required plant materials. It is not the intent of these Landscaping Development Standards to duplicate plantings in the same area to meet different requirements. When planting zones overlap, the most stringent requirements shall apply.

Landscaping for buffers shall be governed by Section 7 of Article 12:  
Landscaping and Screening of the UDO.

**Landscaping for the Building Base shall be as follows:**

1. Plantings shall be incorporated at the building base of all buildings constructed on the Real Estate to accomplish the following:
  - a. Highlight main entrances; and
  - b. Tie the architecture to the site.
2. Building base landscape width shall be a minimum of 5' along the front and side of the buildings.
3. Service drives and access points shall not be counted in the overall building base calculation.
4. Provide 1 ornamental tree and 20 deciduous shrubs, evergreen shrubs, or ornamental grasses per 100 linear feet of building base length.
5. Refer to Section 6 of Article 12: Landscaping and Screening of the UDO for limitations on pedestrian walk locations and plant placement.

**Parking Interior**

When the nature of the business is to display, sell, purchase, or rent vehicles, the percentage of required landscaping area shall be reduced by 50%. This reduction shall not allow for islands to be less than 180 square foot in size. Reductions shall

take place where merchandise is located and not in areas designated as parking for personal vehicles.

Parking interior plantings shall be protected using a 6 inch high curb or wheel stops.

The minimum landscape area at the end of each row of customer and employee parking shall be 180 square feet. One (1) Canopy tree and five (5) deciduous shrubs, evergreen shrubs, or ornamental grasses shall be provided for each island.

Where rows of customer and employee parking create a double row, the size and planting requirements shall be doubled.

Additional interior parking requirements shall be governed by Section 5, Part C.1.d-f of Article 12: Landscaping and Screening of the UDO.

### **Parking Perimeter**

For all parking lot edges that face a Public Right of Way or residential use, provide the following:

1. A ten (10) foot landscape space;
2. One (1) canopy tree per 40 linear feet for purposes of determining number of trees and not placement of the trees on the Real Estate and trees may be placed in any manner to achieve project landscaping requirements;
3. 33 deciduous shrubs, evergreen shrubs, or ornamental grasses per 100 linear feet with a mature height of 3 feet;
4. When the nature of the business is to display, sell, purchase, or rent vehicles, the percentage of required shrubs shall be reduced by 50%; and

When the nature of the business is to display, sell, purchase, or rent vehicles, the mature height of required shrubs shall be reduced by 24 inches.

For parking lot edges that face a similar use, provide the following:

1. A five (5) foot landscape space;
2. One (1) canopy tree per 50 linear feet for purposes of determining number of trees and not placement of the trees on the Real Estate and trees may be placed in any manner to achieve project landscaping requirements;

3. 17 deciduous shrubs, evergreen shrubs, or ornamental grasses per 100 linear feet with a mature height of 3 feet;
4. When the nature of the business is to display, sell, purchase, or rent vehicles, the percentage of required shrubs shall be reduced by 24 inches;
5. When the nature of the business is to display, sell, purchase, or rent vehicles, the mature height of required shrubs shall be reduced by 50%;  
and
6. Trees can be grouped when adequate room is available. There shall be no greater than 80 linear feet between trees.

#### **Utilities and Detention Areas**

All utility areas, including loading docks and ground mounted units, shall be screened to minimize direct views from the public right of way. Screening of these elements can be accomplished using a combination of evergreen landscape materials, screen walls, opaque fencing, or recesses in the building. When a screen wall is used, landscape material shall be provided.

Detention Ponds shall be landscaped with natural stands of canopy trees, ornamental trees, evergreen trees, and shrubs. Plantings shall be arranged in groups and shrubs shall be allowed to mass together.

Street Trees shall be subject to the applicable sections of Article 6, Part M of the UDO.

## EXHIBIT G

### *Lighting Pole and Fixture Design*





# Element<sup>TM</sup> II

LED Luminaire



**VISIONAIRE LIGHTING**

*Performance In A Whole New Light*



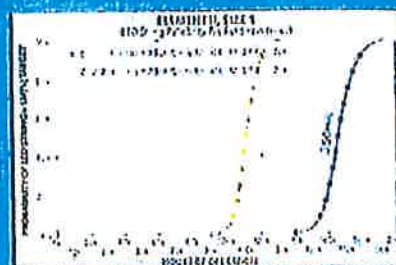
## All Our LEDs Are Tested for Life

L70 Life Calculations for a string of LEDs were performed by Lumileds based on Insitu tests performed in UL Laboratory



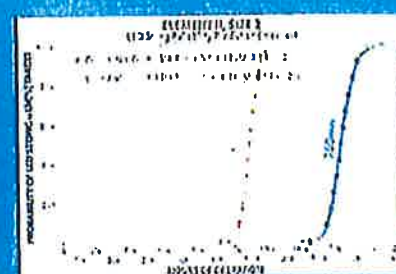
### Element II, Size 1

Drive current of 350mA yields an L70 of 150,000 hours.  
Drive current of 630mA yields an L70 of 100,000 hours.



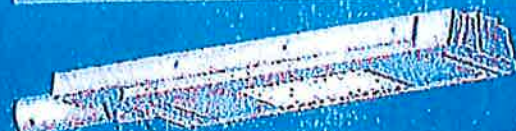
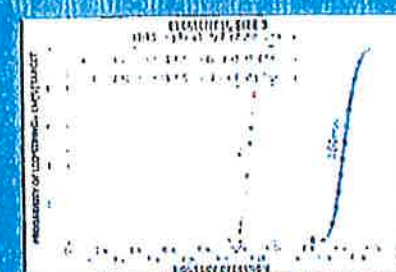
### Element II, Size 2

Drive current of 350mA yields an L70 of 150,000 hours.  
Drive current of 530mA yields an L70 of 100,000 hours.



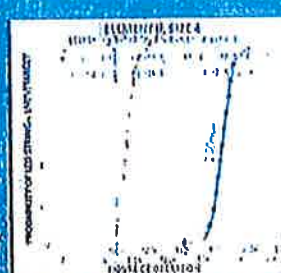
### Element II, Size 3

Drive current of 350mA yields an L70 of 150,000 hours.  
Drive current of 530mA yields an L70 of 100,000 hours.



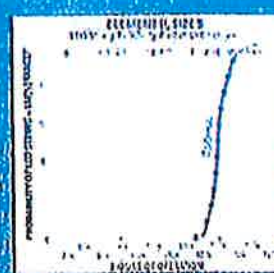
### Element II, Size 4

Drive current of 350mA yields an L70 of 150,000 hours.  
Drive current of 530mA yields an L70 of 100,000 hours.

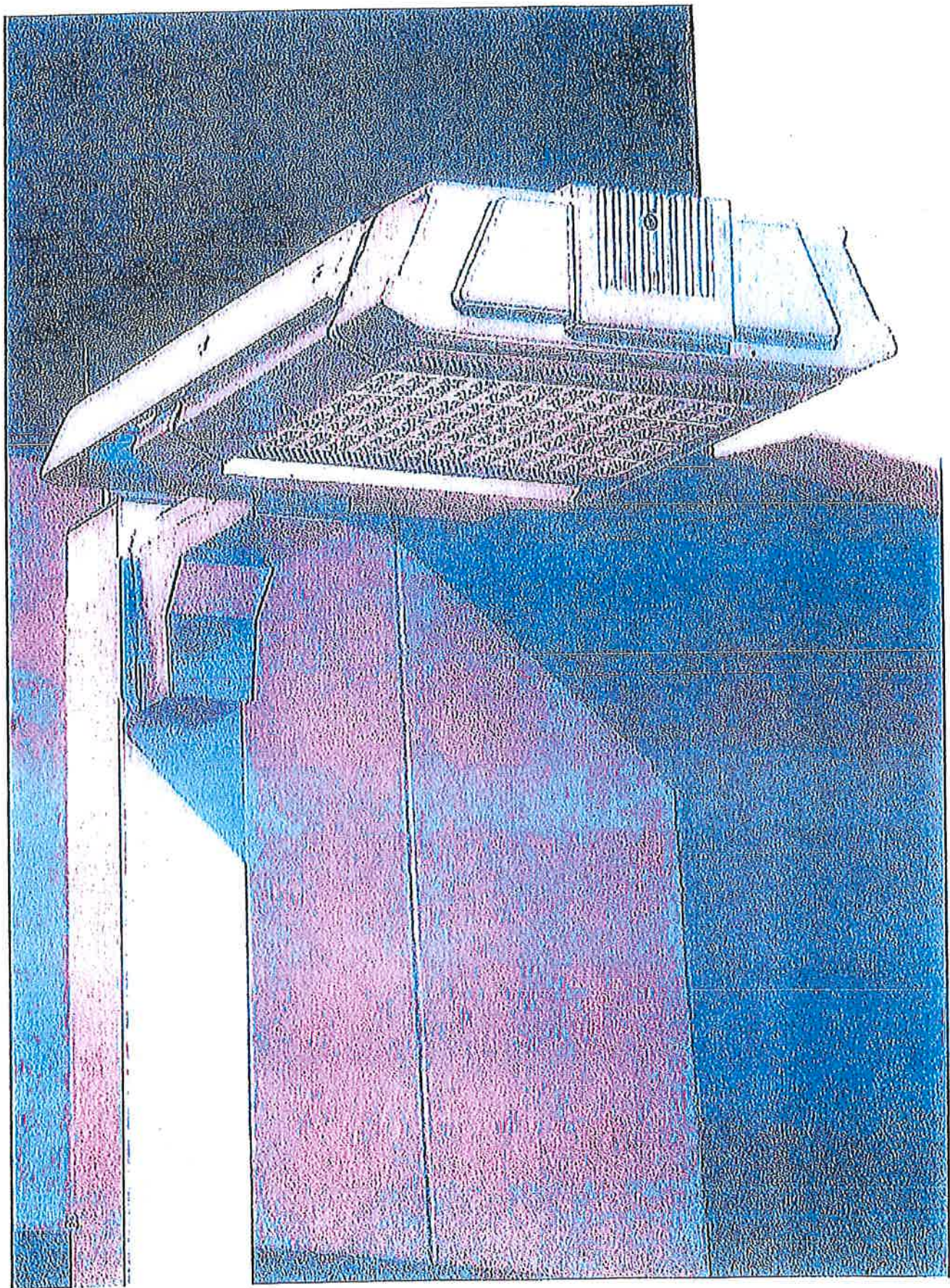


### Element II, Size 5

Drive current of 350mA yields an L70 of 150,000 hours.

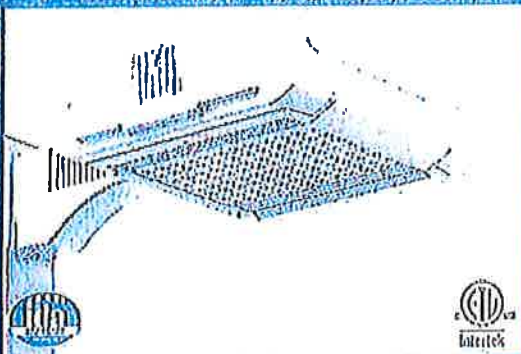




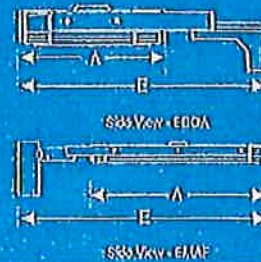
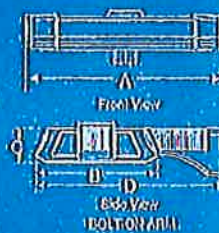




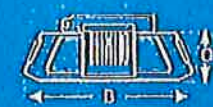
# 5 Loaded With Specs



Area



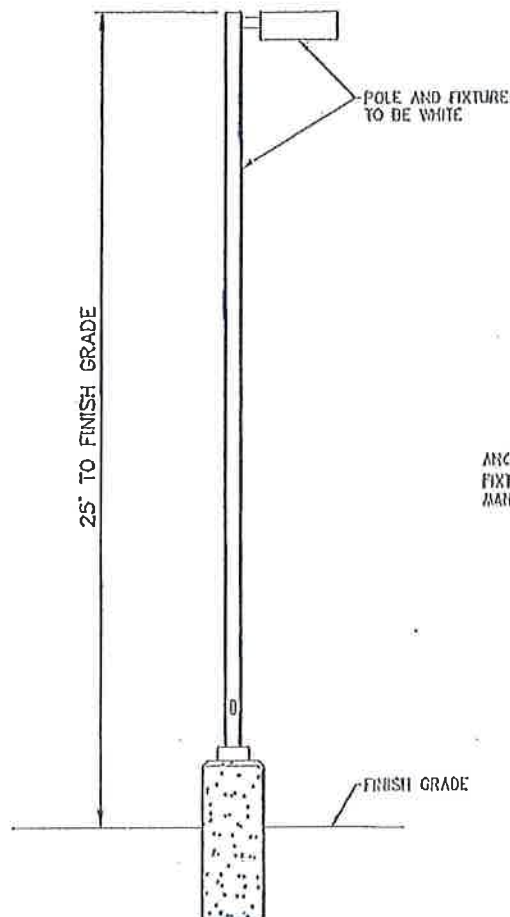
Canopy/Canopy



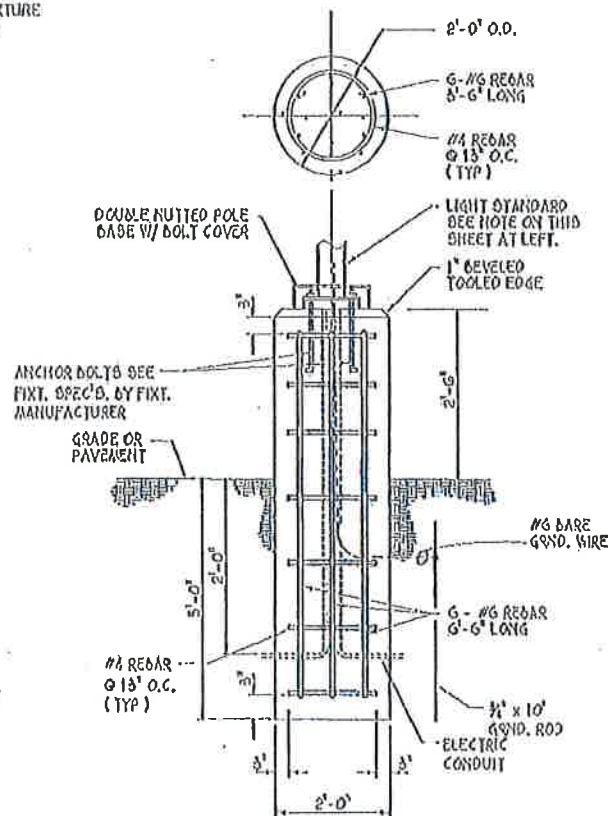
Fixture	A	B	C	D	E	Max LEDs	IES
EL2-S	14"	14 1/2"	4"	21 1/2"	n/a	72	30
EL2-1	18"	14 1/2"	4"	21 1/2"	38"	98	34
EL2-2	24"	14 1/2"	4"	21 1/2"	42"	144	38
EL2-3	28"	14 1/2"	4"	21 1/2"	28 1/2"	144	41
EL2-4	32"	14 1/2"	4"	21 1/2"	32 1/2"	192	62
EL2-5	38"	14 1/2"	4"	21 1/2"	48 1/2"	288	63

Model	Optics	Source	Milliwatts	Kelvin	Voltage	Mounting	Finish	Options
EL2-S	Type I (1)	# of LEDs 24 (24LC) 48 (48LC) 72 (72LC)	mW 350 530 350 530 350 530 (3) (5)	4000K 5500K 5500K (551K)	120-277 120-277 120-277 (120V)	Bolt-On Arm (BOA) Wall Mount (WM) Kynride Mount (KM) Mast Arm Fitter (MAF) Ceiling Mount (CM) Pendant Mount (PM)	White (WH) Bronze (BZ) Black (BK) Grey (GY) Silver Metallic (SL) Custom Color (CC)	0-10V Dimming Driver (DM) Photocell & Receptacle (PC120) (PC203) (PC240) (PC277) Photo Receptacle (PR) Button Type Photocell (BT) Round Polo Plate Adaptor (RPP) Element Conduit Box (ECB) Cutoff Louver System (CLS) Vandal Resistant Shield (VRS) Dual Circuit (DC) Motion Sensor (MS)
EL2-1	Type II (2)	24 (24LC) 48 (48LC) 72 (72LC) 98 (98LC)	350 530 350 530 350 530 350 530 (3) (5)	4000K 5500K 5500K (551K)	120-277 120-277 120-277 (120V)	End Mount (EM) Bolt-On (BOA) End Mount (EM)		
EL2-2	Type III (3)	120 (120LC) 144 (144LC)	350 350 (3)					
EL2-3	Type IV (4)	120 (120LC) 144 (144LC)	530 530 (5)					
EL2-4 *End mount only	Type V (5)	168 (168LC) 192 (192LC)	350 530 350 530 (3) (5)					
EL2-5 *End mount only	Type VI (6)	216 (216LC) 240 (240LC) 264 (264LC) 288 (288LC)	350 350 350 350 (3)					





**LIGHT POLE DETAIL**  
NOT TO SCALE



**LIGHT STANDARD  
FOOTING DETAIL**  
NOT TO SCALE

NOTE: REMOVE FORMS AND TROWEL FINISH  
POLE BASE WITHIN 24 HOURS OF POUR

## LIGHT POLE AND BASE DETAIL

AMERICAN  
**STRUCTUREPOINT**  
INC.

7260 SHADELAND STATION  
INDIANAPOLIS, IN 46268-3957  
TEL 317.647.6580 FAX 317.643.0270  
[www.structurepoint.com](http://www.structurepoint.com)

SCALE:	ITS
DATE:	05/24/2013
DRAWN BY:	
CHECKED BY:	
APP. NO.	2012.00069

SHEET NO.

11

CF

## EXHIBIT H

### *Sign Development Guidelines*

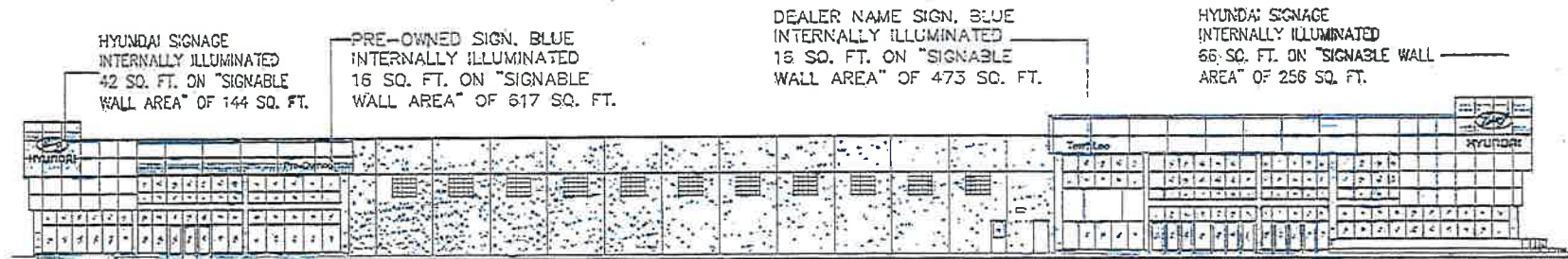
## Sign Development Guidelines

### Dealership Lot

- A. Lot 1 of the preliminary development plan ("Dealership Lot") will be developed as the Terry Lee Hyundai Car Dealership. The Dealership Lot will be allowed the size, design and amount of signage as shown the designs attached as Exhibit H.1 and on the architectural elevations attached as Exhibit E
- B. The illumination of the signs will be Halo-Lit which is defined as individually mounted opaque, internally backlit letters that illuminate the wall or surface to which they are attached.
- C. The size and design of the directional and pylons signs in the Development Lot shall be consistent with the signs attached hereto as Exhibit H.2 Lot 1 shall have a maximum of seven (7) directional signs and the location of the directional signs shall be determined upon the approval of the Lot 1's detailed development plan. Lot 1 shall also have one (1) pylon sign which will be located as indicated attached Preliminary Development Plan as Exhibit H.4

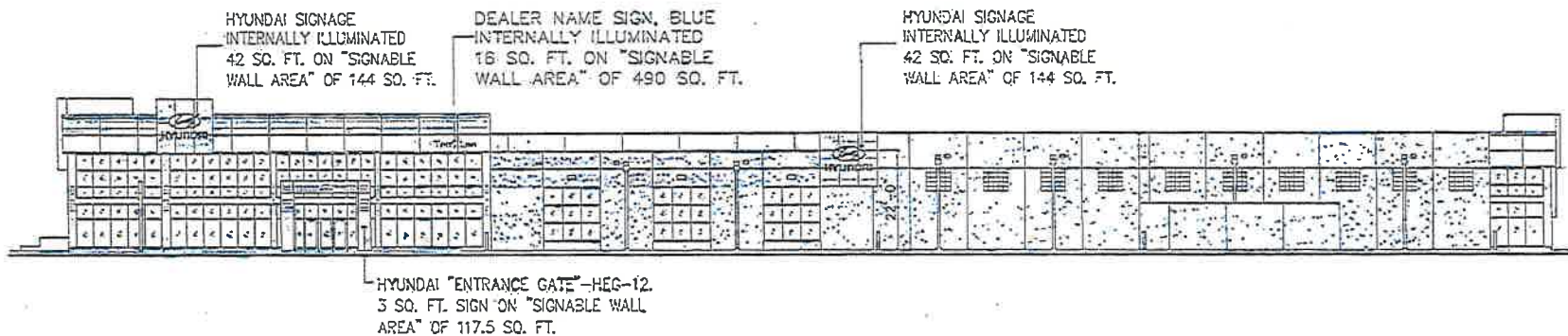
### Designation Sign for Real Estate

- A. The Designation Sign shall comply with the applicable signing requirements of Article 11: Signs of the UDO except as modified by the concept plan attached hereto as Exhibit H.3 The supports and frames shall be painted to look like stainless steel.
- B. Any number of materials may be used for the design of the Designation Sign for Real Estate. The following is a list of acceptable materials:
  - 1. Face Brick;
  - 2. Aluminum Composite Materials;
  - 3. Precast Concrete;
  - 4. Splitface or textured masonry units;
  - 5. Ceramic or glazed tile.
- C. The Designation Sign shall be located as indicated on the attached Preliminary Development Plan as Exhibit H.4



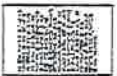
**PROPOSED WEST ELEVATION - VIEW FROM HIGHWAY 37**

NOT TO SCALE



**PROPOSED EAST ELEVATION - VIEW FROM INTERNAL DEVELOPMENT ROAD**

NOT TO SCALE



A NEW AUTO DEALERSHIP FACILITY FOR:

**TERRY LEE HYUNDAI**

PORTSMOUTH

**EXHIBIT**

**H. 1**

DATE: 10/10/08



NO.	DATE	REVISION	BY	CHKD.
1	10/10/08	ISSUED FOR PERMITTING		
2				
3				
4				
5				
6				
7				
8				
9				
10				

PROPOSED SIGN & GRAPHIC WALL AREA CALCULATIONS

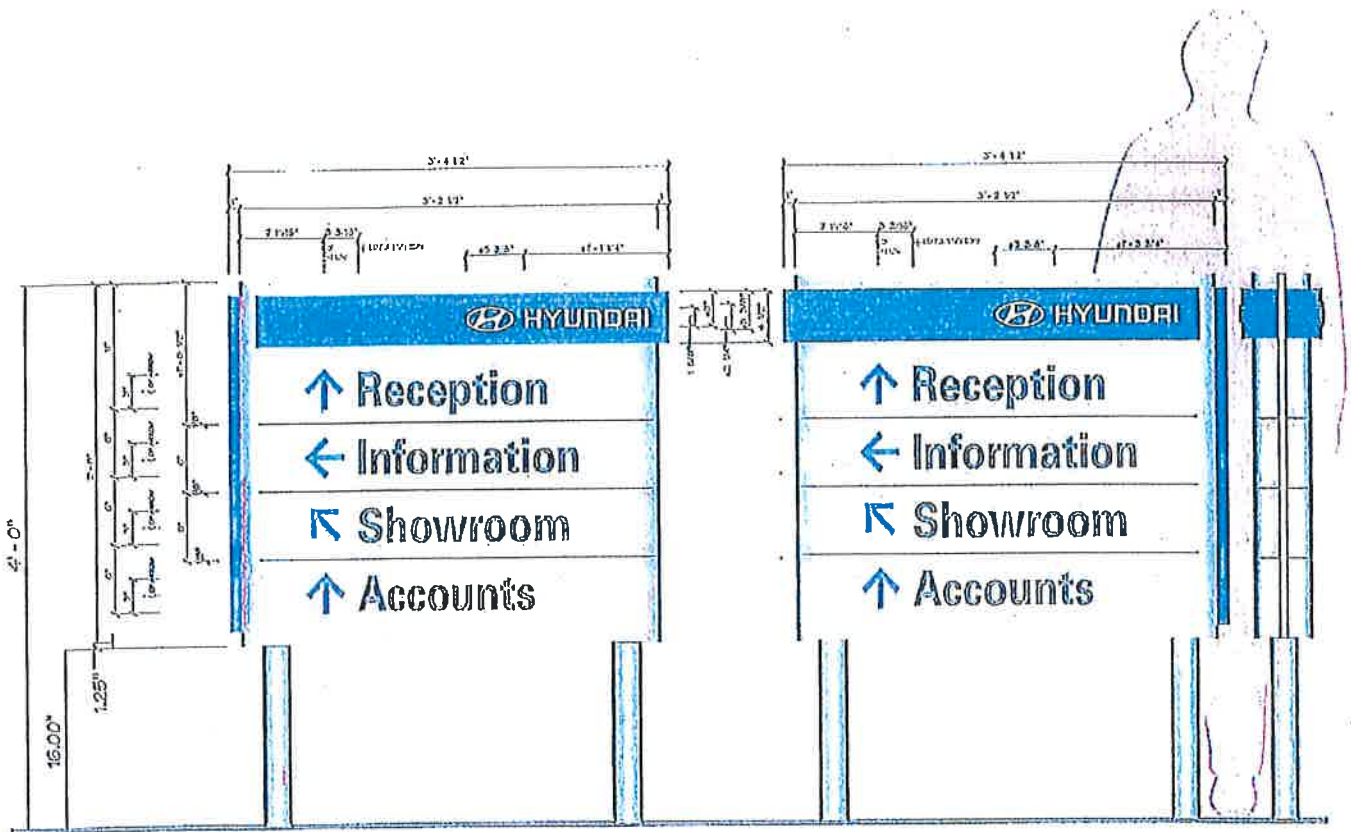
PA202





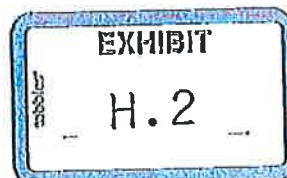
# DIRECTIONALS

Text and arrows will vary.



HD-48

TYPICAL SIDE VIEW



Site ID: Hyundai

Drawn by: MAR



AGI Rep: JWB

Scale: 3/4" = 1' - 0"

Date: 11/29/11

This document is the property of Architectural Graphics, Inc. and all designs, illustrations, and drawings are and shall remain the property of the company. It is intended to be a confidential relationship, for a specific purpose, and the recipient is to keep the document secure and not to use the document for any other purpose or to disclose its contents to any third party without the prior written consent of the company. The company shall not be responsible for any loss or damage to the document or its contents.



Architectural Graphics, Inc.

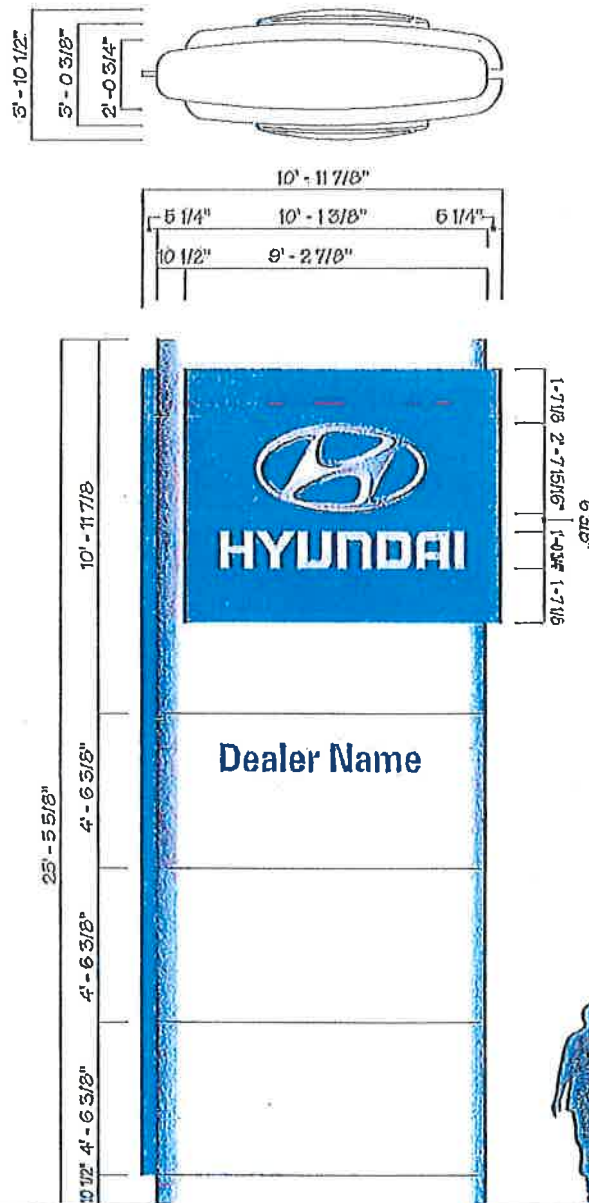
2655 Innovation Parkway, Virginia Beach, VA 23452  
 (757) 437-1000 • Fax (757) 437-1227  
 www.AGISign.com

# PYLONS

Dealer Name Text will vary.

HP-72-25

72.04 sq ft



The final sign location is to be determined by the authority having jurisdiction. The approved location may vary from what is depicted in the rendering.

STREET SIDE →

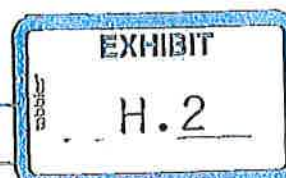
Site ID: Hyundai



AGI Rep: JWB

Scale: 3/16"=1'

Date: 6/28/11



THIS DOCUMENT IS THE PROPERTY OF ARCHITECTURAL GRAPHICS, INC. AND IS LOANED TO YOU FOR YOUR PROJECT ONLY. IT IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED WITHOUT THE WRITTEN PERMISSION OF ARCHITECTURAL GRAPHICS, INC. ANY VIOLATION OF THESE TERMS WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.



Architectural Graphics, Inc.

2655 International Pkwy, Virginia Beach, VA 23452  
PHONE: (757) 437-1900 • FAX: (757) 430-1927  
WWW.AGISign.com





EXHIBIT H.3

## SIGN SPECIFICATIONS

**TERRY LEE CROSSING**

Aluminum extruded framing  
Routed .080 faces w/ white 3/16" white acrylic backers  
White LED illumination / contained pwr supplies  
Painted satin finish  
Aluminum 2"x4" accent bar (non illuminated)

**NOBLESVILLE**

Non illuminated 1" aluminum letters  
Painted satin white  
Stud and spacer mounting

**TENANT CABINETS**

Aluminum extruded cabinets  
Aluminum 2" divider bars (lower cabinet)  
White 3/16" Lexan faces (copy TBD)  
Opaque back ground - white copy to show thru  
White 6500 LED illumination  
Self contained pwr supplies

**SUPPORT STRUCTURE**

3" wall Precast concrete - Set over steal support  
Reveled seams between sections  
Joint sealed  
Steel 4"x6" tube will carry the tenant cabinets  
Additional supports 2"x2"  
Painted satin deep gray finish

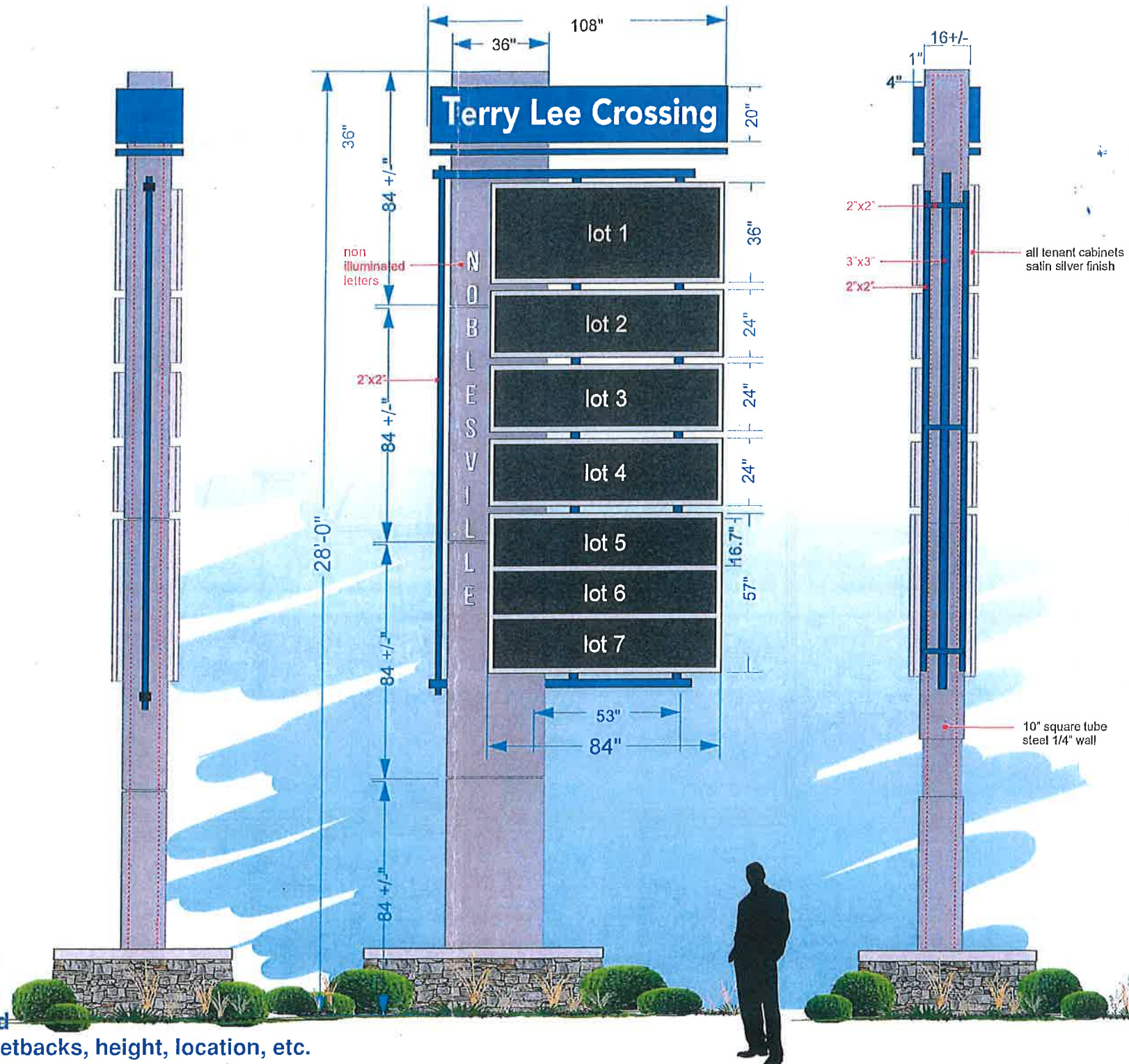
**INSTALLATION**

Single 10"x1/4" square tube steel  
Set in direct burial concrete foundation  
Stone base by others

**ELECTRICAL**

(2) 20 amp 120 circuits to be provided  
for our hookup at pole base

The revamped sign elevation was approved by Christy Langley, Director of Planning and Development, as not being a pole sign by definition but meeting the intent of the adopted planned development ordinance. All requirements such as setbacks, height, location, etc. as per the adopted ordinances shall be adhered to for the issuance of a sign permit.  
01-26-2016



555 Park 32 West Dr.  
Noblesville, IN 46062

**317 867 2737**

**Office / Fax**

**INVOICE NO**

**2435**

**CUSTOMER**

Terry Lee Crossing

**LOCATION**

Noblesville, IN

**SALES REP**

Mark

**DESIGNER**

MK

**DATE**

1/11/16

**SCALE**

3/8=1'

**FILE PATH**

mark/terrylee/tlc/pylon4

Approved x \_\_\_\_\_ Date x \_\_\_\_\_

**PERMIT(S)**  
CHECK ONE

☐ Y \_\_\_\_\_  
☐ N \_\_\_\_\_

DISCLAIMER: Representations of artwork displayed on a proof may not be precise a variations in monitor output in some cases. Color prints may vary slightly.  
©Copyright 2012 CSI Signs Inc. (Chad Signs). All artwork proofs are property of CSI Signs & Installations his rendering is not be reproduced, duplicated, copied or exhibited in any fashion.  
By approving this artwork the customer is also approving all spelling and grammar excepting CSI Signs.





**EXHIBIT I**

*Cumberland Road Right-of-Way Vacation*

N/W VACATION - CUMBERLAND ROAD

TERRY LEE CROSSMAN  
REAL ESTATE

TERRY LEE CROSSMAN  
REAL ESTATE

STRUCTURE  
1000