


64.00
(17)

2016028954 ORDINANCE \$64.00
06/21/2016 12:53:48P 17 PGS
Jennifer Hayden
HAMILTON County Recorder IN
Recorded as Presented


ORDINANCE NO. 29-05-16

**AN ORDINANCE AMENDING THE UNIFIED DEVELOPMENT ORDINANCE
NO. 62-12-95 AND ALL AMENDMENTS THERETO, A PART OF THE
COMPREHENSIVE MASTER PLAN FOR THE CITY OF NOBLESVILLE,
HAMILTON COUNTY, INDIANA**

An Ordinance to amend the Unified Development Ordinance and Ordinance No. 62-12-95, and all amendments thereto for the City of Noblesville, Hamilton County, Indiana, enacted by the City of Noblesville under the authority of Chapter 174 of the Acts of the Indiana General Assembly 1947, as amended, and

WHEREAS, the Plan Commission of the City of Noblesville has conducted a public hearing on Application No. 000443-2016 as required by law concerning the adoption of a Preliminary Development Plan and Ordinance, all a part of the Unified Development Ordinance and after due consideration has sent a favorable recommendation to the Council with a vote of 10 ayes and 0 nays at their May 16, 2016 meeting, and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Noblesville, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance No. 62-12-95 for said City and the Official Zone Map, and all amendments thereto are hereby amended as follows:

SECTION 1 That the subject real estate located approximately one-quarter mile south of East 206th Street and west of Cumberland Road, legally described as per attached Exhibit A, is

located within the zoning jurisdiction of the City of Noblesville, Hamilton County Indiana and is currently zoned "R1 Low Density Single-Family Residential" zoning district.

SECTION 2. Applicability of Ordinance.

- 2.1 The Zoning Map is hereby changed to designate the subject real estate generally located south of 206th Street and west of Cumberland Road, and more particularly depicted as Exhibit A (the "Real Estate") as a Planned Development Overlay District to be known as "Potter's Bridge Estates Planned Development" (the "District").
- 2.2 The District's underlying zoning district shall be the "R1 Low Density Single Family Residential District". Development in this District shall be governed entirely by (i) the provisions of this Ordinance and its exhibits, and (ii) those provisions of the Unified Development Ordinance (UDO) in effect as of the date of the adoption of this Ordinance (UDO amended through January 12, 2016), and applicable to the Underlying District, except as modified, revised, supplemented, or expressly made inapplicable by this Ordinance (collectively, the "Governing Standards").
- 2.3 All provisions and representations of the UDO that conflict with the provisions of this Ordinance and its exhibits are hereby rescinded as applied to the Real Estate and shall be superseded by the terms of this Ordinance.

SECTION 3. Permitted Uses.

- 3.1 All uses permitted in the Underlying District shall be permitted within the District; however, the maximum number of Dwelling Units shall not exceed ten (10).
- 3.2 The general use of construction set forth in Article 2 Definitions and Word Usage of the UDO shall apply to the regulations of this Ordinance. Words defined in the UDO shall be interpreted in accordance with the UDO definition.

SECTION 4. Preliminary Development Plan.

- 4.1 The Preliminary Development Plan is hereby incorporated and approved as per attached Exhibit B. Pursuant to Article 8 – Zoning Districts of the UDO, the Preliminary Development Plan is intended to establish the basic goals and policies, bulk standards, variations and/or waivers from the Underlying District and layout of the District.

SECTION 5. Bulk Standards.

- 5.1 The bulk requirements applicable to the Underlying District shall apply as per the UDO dated January 12, 2016 with the following exceptions:
 - 5.1.1 The reduction of the lot width for Lot 8 is hereby reduced to a minimum of 114-FT at the building setback line; Lot 6 is reduced to 150-FT at the building setback line, with the remaining lots having a minimum width of 175-feet at the building setback line.
 - 5.1.2 Reduction of the minimum lot area is a minimum of two acres each.
 - 5.1.3 Density for the development is established at one residential unit per two acres.

SECTION 6. Architectural Standards.

- 6.1 The Architectural Guidelines as per attached Exhibit C shall apply to all new construction proposed within the planned development.
- 6.2 The Director of Planning and Development, including his/her designees, shall review and approve all home elevations at the time of filing of a Building Permit for compliance with Exhibit C.
- 6.3 If a home elevation is proposed that varies from the adopted Exhibit C (Architectural Guidelines) said home elevation shall be reviewed as per the governing standards of the UDO.

SECTION 7. Landscaping and Open Space Standards.

- 7.1 The standards of Article 12 – Landscaping and Screening, and Article 8 – Zoning Districts, Section 3. Planned Development (PD) Overlay District shall apply except as noted below:
 - 7.1.1 The 50-FT Peripheral Landscape Buffer shall not apply to the Preliminary Development Plan as per the waiver granted from said requirement. The minimum Peripheral Landscape Buffer is zero.
 - 7.1.2 The Minimum “Common Open Space” shall not be less the (twenty-eight percent (28%) of the gross acreage.

SECTION 8. Parking and Loading Standards. The requirements of Article 10, Off-Street Parking and Loading, of the UDO shall apply.

SECTION 9. Lighting Standards. The requirements of Article 13, Environmental Performance Standards, and the “Noblesville Standards” of the UDO shall apply.

SECTION 10. Sign Standards. The requirements of Article 11 – Signs of the UDO shall apply.

SECTION 11. Infrastructure Standards. All public infrastructure within and adjacent to said Real Estate shall adhere to the City's and/or County's standards and design criteria.

SECTION 12. Detailed Development Plan. Approval of the Detailed Development Plan ("DDP") shall follow the procedures set forth in Article 8 – Zoning Districts of the UDO, subject to the following clarification: (i) the Director of Planning and Development shall approve "Minor Changes" as per the UDO and (ii) if a DDP includes a "Major Change" from the approved Preliminary Development Plan, then prior to the approval of the DDP, an amended Preliminary Development Plan shall be approved in accordance with Article 8 – Zoning Districts, Part H. Special Districts, Section 3. Planned Development Overlay District requirements as per the UDO. A Secondary Plat shall be submitted for review and approval as a part of any approved Detailed Development Plan.

SECTION 13. Waivers

13.1 Minimum Lot Width is reduced as per Section 5 above.

13.2 Minimum Lot Area is reduced to two acres each.

13.3 Fifty-foot Peripheral Landscape Buffer is not required.

SECTION 14. Unless a development standard, specification, guideline, and/or requirement contained in the Unified Development Ordinance is varied, altered, or modified by this ordinance and/or exhibits, then such development standards, specifications, guidelines, and/or requirements as specified in the Unified Development Ordinance shall apply.

SECTION 15. This Ordinance shall be in full force and effect from and upon its adoption and publication in accordance with the law. All prior ordinances or parts thereof in conflict therewith are repealed and deemed to conform to the provisions of these amendments.

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SECTION 16. Upon motion duly made and seconded; this Ordinance was fully passed by the members of the Common Council this 14th day of June, 2016.

COMMON COUNCIL

AYE

NAY

<u>[Signature]</u>	Brian Ayer	_____
<u>[Signature]</u>	Mark Boice	_____
<u>[Signature]</u>	Wil Hampton	_____
<u>[Signature]</u>	Christopher Jensen	_____
<u>[Signature]</u>	Roy Johnson	_____
<u>[Signature]</u>	Gregory P. O'Connor	_____
<u>[Signature]</u>	Mary Sue Rowland	_____
<u>[Signature]</u>	Rick L. Taylor	_____
<u>[Signature]</u>	Megan G. Wiles	_____

Approved and signed by the Mayor of the City of Noblesville, Hamilton County, Indiana, this 14th day of June, 2016.

[Signature]
John Ditslear, Mayor
City of Noblesville, Indiana

ATTEST:

[Signature]
Evelyn L. Lees, Clerk



I, affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Joyceann Yelton
Printed Name of Declarant

Prepared by: Joyceann Yelton, Senior Planner, City of Noblesville, 16 South 10th Street, Noblesville, IN 46060 (317) 776-6325

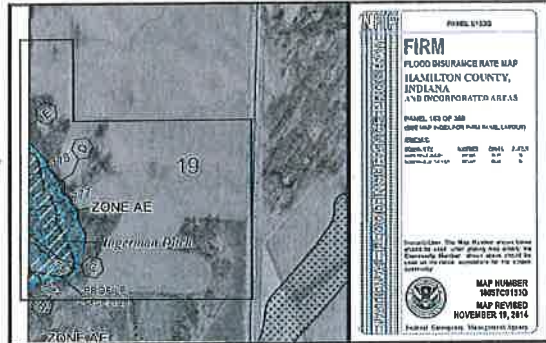
POTTERS BRIDGE ESTATES

A part of the Northeast Quarter of Section 19, Township 19 North, Range 5 East, Hamilton County, Indiana, more particularly described as follows:

Commencing at the Southeast corner of said Quarter Section; thence North 00 degrees 14 minutes 11 seconds West along the East line of said Quarter Section 540.29 feet; thence North 89 degrees 49 minutes 59 seconds West 40.00 feet to the Westerly Right-of-Way line of Cumberland Road and the POINT OF BEGINNING of this description; thence North 89 degrees 49 minutes 59 seconds West 1288.00 feet; thence North 00 degrees 07 minutes 05 seconds West 1428.87 feet; thence North 89 degrees 45 minutes 49 seconds East 294.90 feet; thence South 00 degrees 14 minutes 11 seconds East 450.00 feet; thence North 89 degrees 45 minutes 49 seconds East 990.12 feet; thence South 00 degrees 14 minutes 11 seconds East parallel to the aforesaid East line of said Quarter Section 987.93 feet to the place of beginning, containing 32.105 acres, more or less, subject to all legal highways, rights-of-ways, easements, and restrictions of record.

THIS INSTRUMENT PREPARED BY:
DENNIS D. OLMSTEAD
STOEPPELWERTH AND ASSOCIATES INC.
7965 EAST 106TH STREET
FISHERS, INDIANA 46038-2505
PHONE: (317) 849-5935

THIS INSTRUMENT PREPARED FOR:
PAUL VONDERSAAR
1105 BEAR CLUB DRIVE
CICERO, INDIANA 46034
PHONE: (317) 710-2157



FLOOD STATEMENT
A PORTION OF THIS SITE DOES LIE
WITHIN A ZONE PER FIRM 16057C01030
DATED NOVEMBER 19, 2014

INDEX	
SHT.	DESCRIPTION
C001	COVER SHEET
C101-C104	PRELIMINARY PLANNED DEVELOPMENT PLANS
L100-L101	PRELIMINARY LANDSCAPE PLAN

REVISIONS	
SHT.	DESCRIPTION
ALL	REV. PER TAC COMMENTS 5/03/16

UTILITY CONTACTS

Cable
Cable One
5550 East 85th Street
Indianapolis, Indiana 46220
PH: (317) 275-6497

Electric
Duke Energy Indiana
400 South 10th Street
Noblesville, Indiana 46062
PH: (317) 776-5377

Fiber Optics
McLaren USA
6400 C Street SW
F.O. Box 3177
Cedar Rapids, IA 52404
PH: (317) 997-2843

Gas
Valiant Energy Delivery
16000 Allisonville Road
Indianapolis, Indiana 46253
PH: (317) 776-5577

City of Noblesville
Water/Sewer Department
101 West Washington Street
Noblesville, Indiana 46060
PH: (317) 776-4355

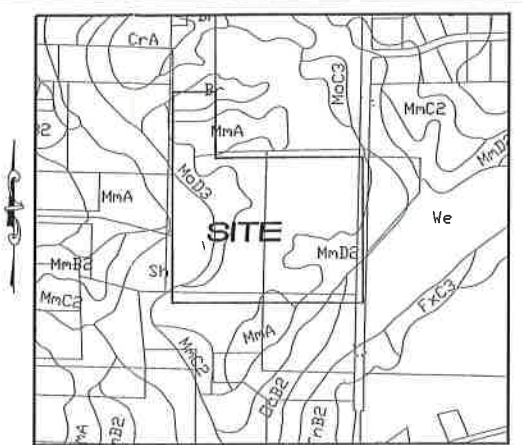
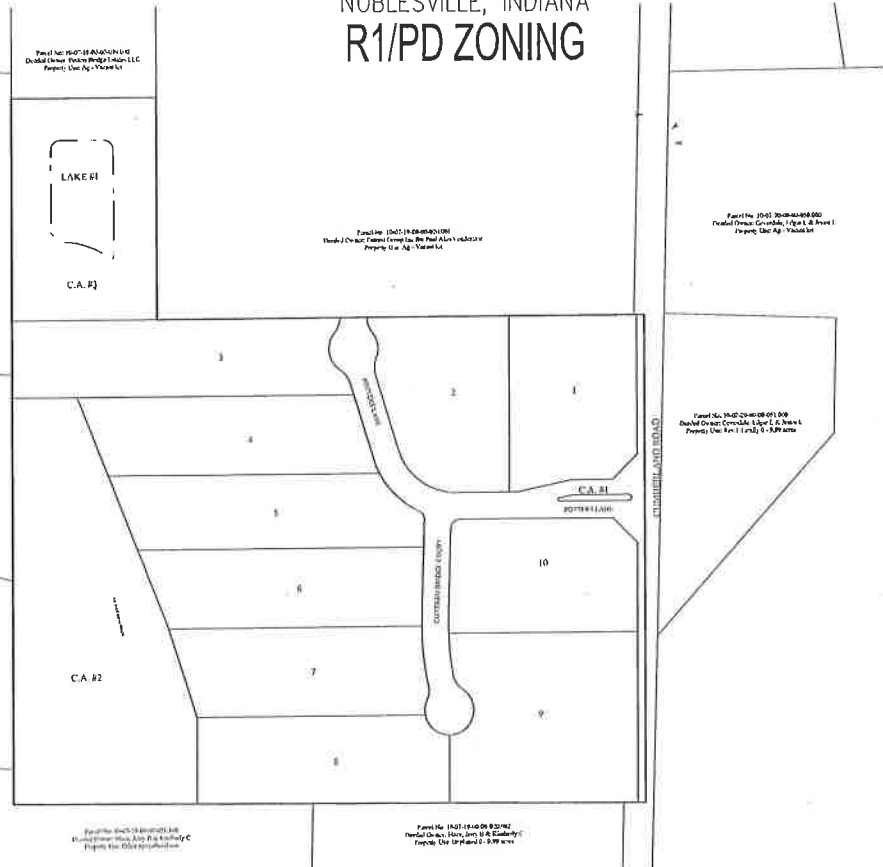
Sewerage (East of Boonville)
Hamilton Sewerage District
11901 Lakeside Drive
Fishers, Indiana 46038
PH: (317) 971-0869

Water
City of Noblesville
Department of Engineering
16 South 10th Street, Suite 125
Noblesville, Indiana 46060
PH: (317) 776-4330

Fire
City of Noblesville
2428 North College
Indianapolis, Indiana 46220
PH: (317) 253-4267

Police
City of Noblesville
855 Wayne Street
Noblesville, Indiana 46060
PH: (317) 776-2497

PRELIMINARY PLANNED DEVELOPMENT PLAN for POTTER'S BRIDGE ESTATES NOBLESVILLE, INDIANA R1/PD ZONING



PROJECT SUMMARY		
Total Site Area		32.11 Ac.±
15th Street / Internal Right-of-Way		2.21 Ac.±
Total Site Area After Existing Right-of-Way		29.89
Common Area Used for Detention		0.62 Ac.±
Flood Area		4.89 Ac.±
Net Site Area		24.38
Total Lots		10
Proposed Density		0.33 Units/Ac.
Density		0.41 Units/Ac.
Total Common Area/Open Space		8.13
Common Areas	C.A.#1	0.04 Ac.±
	C.A.#2	5.35 Ac.±
	C.A.#3	3.05 Ac.±
Gross Open Space Percentage		27.19 %

STREET DATA	
POTTERS LANE	835.19 L.F.
COVERED BRIDGE COURT	421.74 L.F.
TOTAL	1,260.93 L.F.

R1/PD STANDARDS:
R1 REQUIREMENTS PER UDO with exceptions:
1) Minimum Lot Area: 2A (21,120 sq. ft.)
2) Minimum Lot Width: 150'
3) 50' Frontal Buffer not provided.

POTTERS BRIDGE ESTATES
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B:\5680\LOCAL\568071\AE.DWG, 2016

PLANS PREPARED BY:
STOEPPELWERTH & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
7965 E. 106TH STREET, FISHERS, INDIANA 46038
PHONE: (317)-849-5935
FAX: (317)-849-5942
CONTACT PERSON: DENNIS D. OLMSTEAD
EMAIL: DOLMSTEAD@STOEPPELWERTH.COM

DENNIS D. OLMSTEAD
REGISTERED LAND SURVEYOR
NO. 900012
03/28/16
DATE



REVISED

05-04-2016



811
Know what's below.
Call before you dig.

THIS INSTRUMENT PREPARED BY:
DENNIS D. OLMSTEAD
STOEPPELWERTH AND ASSOCIATES INC.
7965 EAST 106TH STREET
FISHERS, INDIANA 46038-2505
PHONE: (317) 649-5935

THIS INSTRUMENT PREPARED FOR:
PAUL VONDERSAAR
1105 BEAR CLUB DRIVE
CICERO, INDIANA 46034
PHONE: (317) 710-5157

PRELIMINARY PLANNED DEVELOPMENT PLAN for POTTER'S BRIDGE ESTATES NOBLESVILLE, INDIANA R1/PD ZONING



THIS DRAWING IS NOT INTENDED TO BE
REPRESENTED AS A RETRACTION OR
CORRECTION OF A PREVIOUS SURVEY
OR A SURVEYOR LOCATION
REPORT.

CERTIFIED: 3/28/16

STOEPPELWERTH

ALWAYS ON
7965 East 106th Street, Fishers, IN 46038-2505
phone: 317-649-5935 fax: 317-649-5932

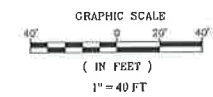
PRELIMINARY PLANNED DEVELOPMENT PLAN

POTTER'S BRIDGE ESTATES

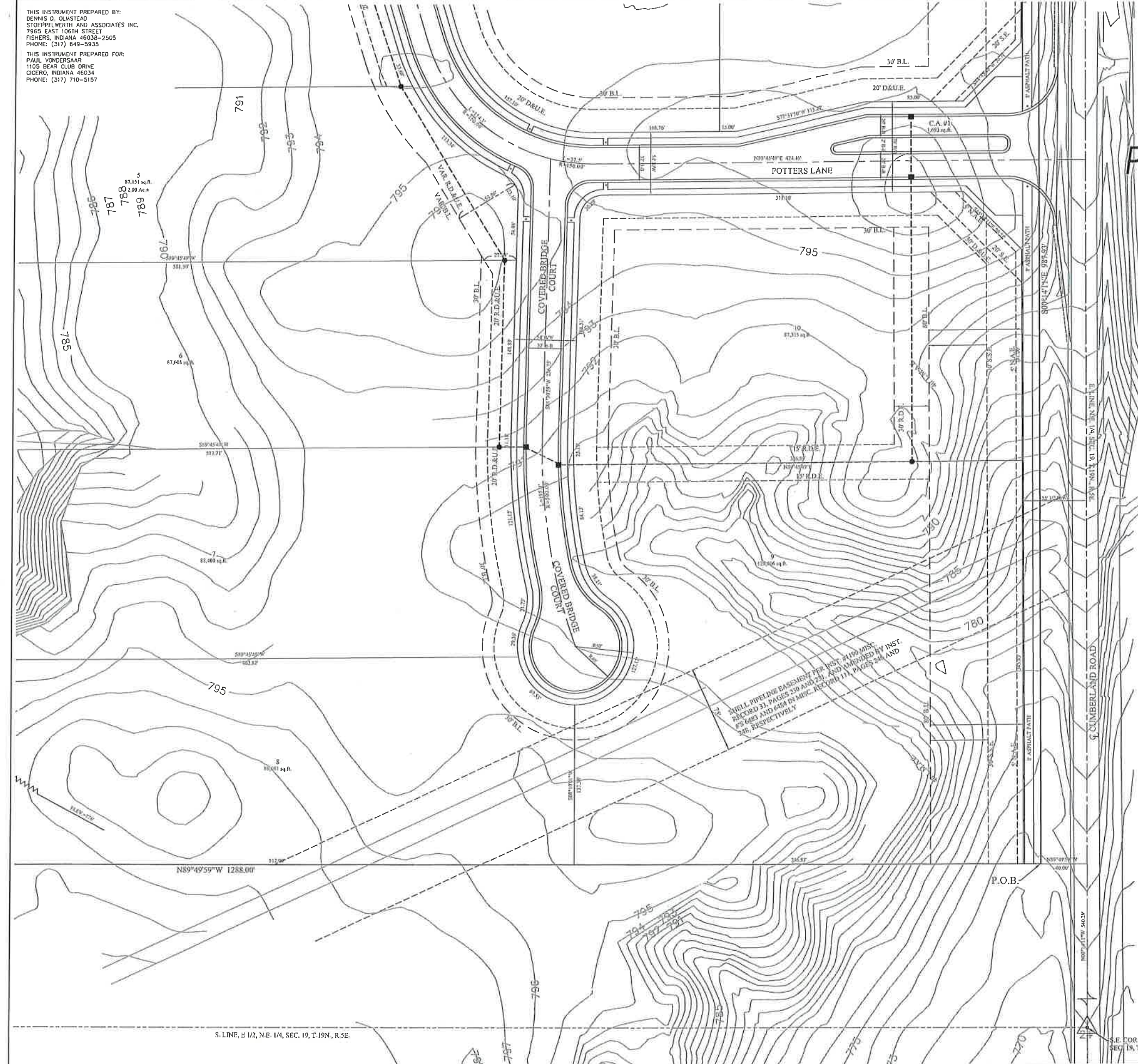
NOBLESVILLE TOWNSHIP HAMILTON COUNTY, INDIANA

DRAWN BY: GDK
CHECKED BY: DDO
SHEET NO.: C101
S & A JOB NO.: 56680PVD

- LEGEND**
- 5 LOT NUMBER
 - B.L. BUILDING LINE
 - D.E. DRAINAGE EASEMENT
 - R.D.E. REGULATED DRAINAGE EASEMENT
 - D.&U.E. DRAINAGE & UTILITY EASEMENT
 - S.E. SIGN EASEMENT
 - D.U.&S.S.E. DRAINAGE UTILITY & SANITARY SEWER EASEMENT
 - L.M.A.E. LANDSCAPE MAINTENANCE ACCESS EASEMENT
 - N.A.E. NON-ACCESS EASEMENT
 - C.A. COMMON AREA
 - R/W. RIGHT OF WAY
 - EXISTING CONTOUR
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - OVERHEAD ELECTRIC LINES
 - TELEPHONE LINE
 - WATER LINE
 - SANITARY SEWER LINE; MANHOLE
 - STORM SEWER LINE; MANHOLE, CURB INLET, FLAT INLET & ENDSECTION
 - FENCE LINE
 - P.O.P. POWER POLES
 - ☆ LIGHT POLE
 - SANITARY WET WELL
 - GUY WIRE
 - TELEPHONE PEDESTAL
 - TELEPHONE MANHOLE
 - GAS VALVE
 - CLEANOUT
 - WATER METER
 - WATER VALVE
 - FIRE HYDRANT



REVISED



THIS INSTRUMENT PREPARED BY:
DENNIS D. OLMSTEAD
STOEPPELWERTH AND ASSOCIATES INC.
7865 EAST 106TH STREET
FISHERS, INDIANA 46038-2505
PHONE: (317) 849-5935

THIS INSTRUMENT PREPARED FOR:
PAUL VONDERSAAR
1105 BEAR CLUB DRIVE
CICERO, INDIANA 46034
PHONE: (317) 710-5157

MAY PER
05260153G
NOV. 19, 2014

014
IN OF
TIONAL
TORY

NON CONFORMITY
CANDY AND MARION A. BROWN
INSTR. NO. 483749

NON CONFORMITY
CANDY AND MARION A. BROWN
INSTR. NO. 483749

FLOOD FRINGE PER
FIRM 18057C0153G
DATED NOV. 19, 2014
APPROX. LOCATION OF
WETLAND PER NATIONAL
WETLAND INVENTORY

FLOODWAY PER
FIRM 18057C0153G
DATED NOV. 19, 2014

CA #2
232,916 sq. ft.

N89°49'59"W 664.00'

N89°49'59"W 1288.00'

S. LINE, E 1/2, N.E. 1/4, SEC. 19, T.19N, R.5E

PRELIMINARY PLANNED DEVELOPMENT PLAN for POTTER'S BRIDGE ESTATES NOBLESVILLE, INDIANA R1/PD ZONING



STOEPPELWERTH
ALWAYS ON
7965 East 106th Street, Fishers, IN 46038-2505
phone: 317.849.5935 fax: 317.849.5942

PRELIMINARY PLANNED DEVELOPMENT PLAN
POTTER'S BRIDGE ESTATES
NOBLESVILLE TOWNSHIP
HAMILTON COUNTY, INDIANA

DRAWN BY: GDK
CHECKED BY: DDO
SHEET NO: **C102**
S & A 208 RD
56680PVD



THIS INSTRUMENT PREPARED BY:
DENNIS D. OLMSTEAD
STOEPELWERTH AND ASSOCIATES INC.
7965 EAST 10TH STREET
FISHERS, INDIANA 46038-2505
PHONE: (317) 849-5935

THIS INSTRUMENT PREPARED FOR:
PAUL VONDERSAAR
1105 BEAR CLUB DRIVE
CICERO, INDIANA 46034
PHONE: (317) 710-5157

PRELIMINARY PLANNED DEVELOPMENT PLAN for POTTER'S BRIDGE ESTATES NOBLESVILLE, INDIANA R1/PD ZONING

REVISED

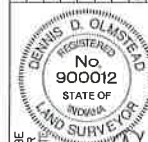
GRAPHIC SCALE
40' 0' 20' 40'
(IN FEET)
1" = 40 FT

SEE SHEET C101 FOR LEGEND

N 1/2, E 1/4, SEC. 14, T.19N., R.5E

N.E. COR. 1/4, SEC. 14, T.19N., R.5E

NOW OR FORMERLY
POTTERS BRIDGE ESTATES LLC



THIS DRAWING IS NOT INTENDED TO BE
REPRESENTED AS A RETRACEMENT OR
ORIGINAL BOUNDARY SURVEY, A ROUTE
REPORT, OR A SURVEYOR LOCATION
REPORT.

CERTIFIED: 3/28/16

DATE

BY

STOEPELWERTH



PRELIMINARY PLANNED DEVELOPMENT PLAN

POTTER'S BRIDGE ESTATES

NOBLESVILLE TOWNSHIP
HAMILTON COUNTY, INDIANA

DRAWN BY: GDIK
CHECKED BY: DDO
SHEET NO.
C103
S & A JOB NO.
56680PVD

THIS INSTRUMENT PREPARED BY:
DENNIS D. OLNSTEAD
STOEPPELWERTH AND ASSOCIATES INC.
7965 EAST 106TH STREET
FISHERS, INDIANA 46038-2505
PHONE: (317) 849-5935

THIS INSTRUMENT PREPARED FOR:
PAUL VONDERSAAR
1105 BEAR CLUB DRIVE
CICERO, INDIANA 46034
PHONE: (317) 710-5157

HAMILTON COUNTY, INDIANA
DEED BOOK 164 PAGE 13

LAND

N.W. COR.
SEC. 17, T.19N., R.5E.

N. LINE E 1/2, N.E. 1/4, SEC. 19, T.19N., R.5E.

N89°45'49"E 294.90'

C.A. #3
133,913 sq. ft.

S00°14'11"E 450.00'

30' R.D.E.

3
103,637 sq. ft.
2.38 Ac.±

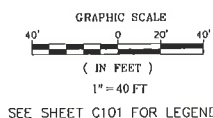
4
89,774 sq. ft.
2.03 Ac.±

S89°43'19"W
310.64'

5
87,151 sq. ft.
2.00 Ac.±

FORMERLY
POTTER'S BRIDGE ESTATES LLC.

PRELIMINARY PLANNED DEVELOPMENT PLAN for POTTER'S BRIDGE ESTATES NOBLESVILLE, INDIANA R1/PD ZONING



REVISED



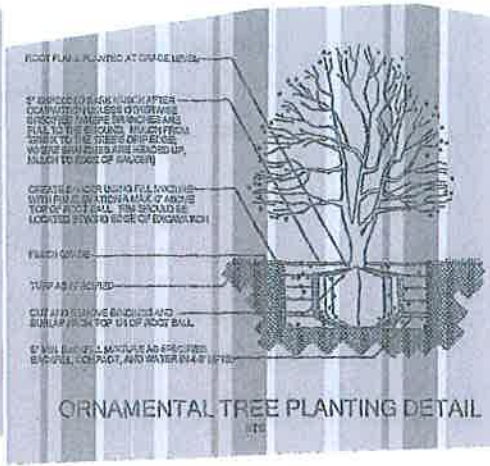
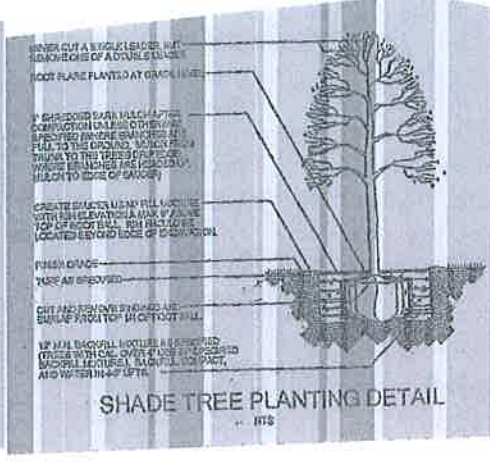
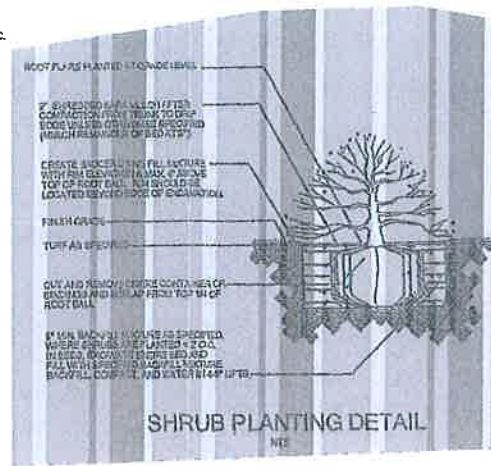
STOEPPELWERTH
ALWAYS ON
7965 East 106th Street, Fishers, IN 46038-2505
phone: 317.849.5935 fax: 317.849.5942

PRELIMINARY PLANNED DEVELOPMENT PLAN
POTTER'S BRIDGE ESTATES
NOBLESVILLE TOWNSHIP
HAMILTON COUNTY, INDIANA

DRAWN BY: GOK
CHECKED BY: DDO
SHEET NO.:
C104
S.A.A. JOB NO.:
56680PVD

THIS INSTRUMENT PREPARED BY:
DENNIS D. OLMSTEAD
STOEPPELWERTH AND ASSOCIATES INC.
7955 EAST 106TH STREET
FISHERS, INDIANA 46038-2505
PHONE: (317) 849-5935

THIS INSTRUMENT PREPARED FOR:
PAUL VONDERHAAR
1105 BEAR CLUB DRIVE
CICERO, INDIANA 46034
PHONE: (317) 710-5157



PRELIMINARY PLANNED DEVELOPMENT PLAN for POTTER'S BRIDGE ESTATES NOBLESVILLE, INDIANA R1/PD ZONING

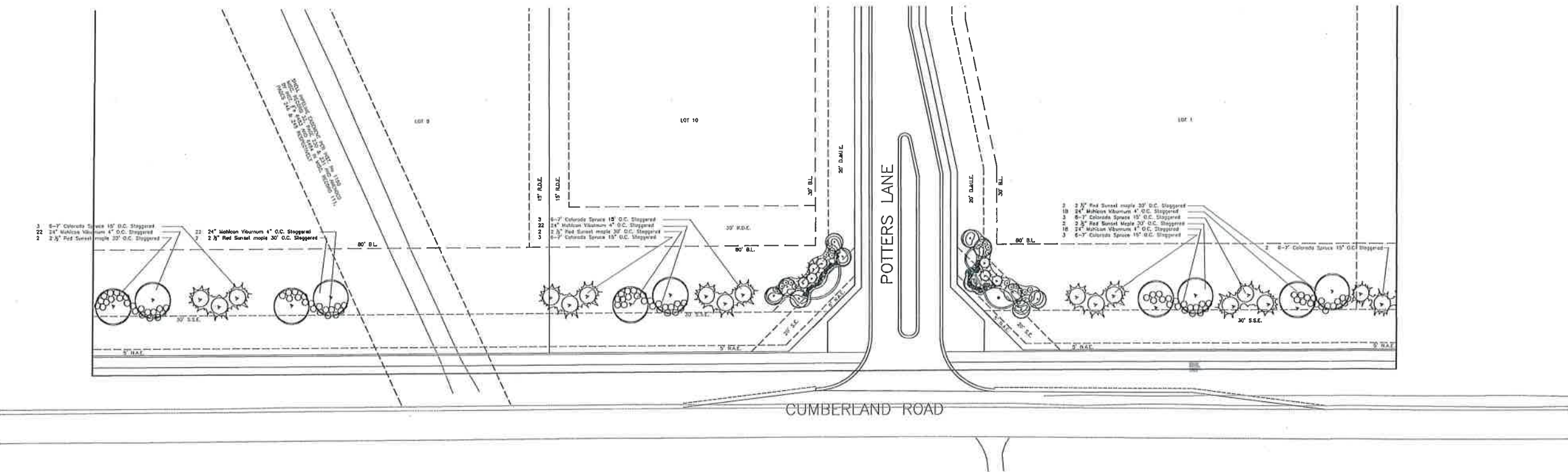
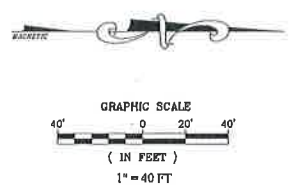
Landscape Table

Quantity	Botanical Name	Common Name	Size
19	Acer rubrum 'Red Sunset'	Red Sunset Maple	2 1/2" B&B
4	Toxodum discolor	Baldcypress	2 1/2" B&B
62	Euonymus alata 'Competa'	Dwarf Burning Bush	24" 3-SGal.
156	Viburnum lantana 'Mohican'	Mohican Viburnum	24" 3-SGal.
35	Piceo Pungens	Colorado Spruce	6-7" B&B

NOTE: ALL SHRUBS AND GRASSES SHALL BE 24 IN HEIGHT AT THE TIME OF PLANTING.

PLANTING NOTES:

1. The landscape contractor shall locate and verify all utility lines prior to starting work.
2. The landscape contractor shall supply all plant materials in quantities sufficient to complete all plantings shown on the drawings.
3. All material shall conform to the guidelines established by the American Association of Nurserymen.
4. All plants shall bear the same relationship to finish grade as to original grade before digging.
5. All plants shall be balled in burlap or containerized.
6. Flood plants twice in twenty-four hour period after planting.
7. Guarantee all plant materials for one full year from date of acceptance.
8. All plant material is subject to the approval of the Designer at the nursery and at the site.
9. All planting beds are to be spade edged.
10. All planting beds shall have sub-grade loosened a minimum 6" in depth, all stones and foreign substances measuring over 1-1/2" in any direction shall be removed, and all beds shall be filled with 8-10" prepared soil mixture.
11. All plant material placed singularly and/or not in a planting bed shall be backfilled with a 1:1 ratio of sub-grade material and planting soil mixture.



REVISED

STOEPPELWERTH

PRELIMINARY LANDSCAPE PLAN
POTTER'S BRIDGE ESTATES

DRAWN BY: GDK
CHECKED BY: DDO
SHEET NO.: L101
56680PVD

ALWAYS ON
7955 East 106th Street, Fishers, IN 46038-2505
phone: 317.849.5935 fax: 317.846.5942

NOBLESVILLE TOWNSHIP
HAMILTON COUNTY, INDIANA





ARCHITECTURAL DESIGN GUIDELINES

SINGLE-FAMILY RESIDENCES (detached)

The intent of the design standards is to provide for architecturally-varied, high-quality detached single-family dwellings that blend with the surrounding fabric allowing for creative thinking relative to the expression of architectural design. Elements of architectural design include, but are not limited to style, composition, materials, and components.

DEFINITIONS

Ridge: The line of intersection at the top between the opposite slopes or sides of a roof.

Ridgetop: The crest of the ridge

Ridgeline: A line marking or following the ridgetop.

Composition: The manner in which parts are combined or related to form a united whole. It includes scale, site relationship, space, volume, texture, proportion, reflection, rhythm, repetition, pattern, ornamentation, mass, form, harmony, depth, color, contrast, and balance.

Site Composition: The position of a building in reference to the surrounding locality.

Elevation: A scaled-drawing of any side of a building or structure.

Homogeneity: The uniformity of the overall structure, resulting from the compatibility of components.

Masonry: Includes all brick products and all stone products including artificial.

Architectural Plane: A two-dimensional surface defined by width and length.

Primary Architectural Plane: That two-dimensional surface fronting along a street between grade and eaves.

Secondary Architectural Plane: All two-dimensional surfaces of a building other than the primary architectural plan.

Facade: The main exterior of a building usually characterized by elaboration of stylistic details and containing an entrance.

Composition: The forming by a combination of various elements, putting things into proper position to form a whole in terms of structure organization.

Corner Break: The position at which two architectural planes meet and form relief creating a third dimension.

Overhang: The horizontal distance that the roof projects beyond the story immediately below.

Banding: A continuous series of moldings projecting slightly from the architectural plan.

Applied Trim: Supplemental and separate decorative strips applied to the face or sides of a frame.

Wood Products: Uncut trees suitable for construction are converted to lumber or lumber products by sawing, planing, or rotary cutting to produce standardized sizes of rough or dressed lumber.

Stained Glass: Is glass that is given a desired color while in the molten state or by firing a stain into the surface of the glass after forming. This glass is used as decorative windows set in lead comes.

Plastics: Any of the various complex organic compounds produced by polymerization.

Stucco: A mixture of lime or gypsum, Portland cement and water to produce a paste-like material, which sets to form a hard surface.

Glass: A hard, brittle transparent or translucent substance, produced by melting a mixture of silica oxides; while molten it may be blown, drawn, rolled, pressed, or cast into a variety of shapes.

Glass Block: Two sheet of flat glass with an air space between them, formed into a sealed modular hollow block.

Brick: A solid or hollow masonry unit of clay mixture with sand, and molded into a rectangular-shape while in a plastic state, then baked in a kiln.

STRUCTURAL COMPONENTS

Ridges:

One-Story: Minimum of 3
Two-Story: Minimum of 5

Corner Breaks:

A projection of a corner break shall be a minimum of 4-FT depth from the architectural plane to which it is attached and shall only be counted toward the corner break requirement for that particular architectural plane.

Primary Architectural Plane

One-Story: Minimum of 3
Two-Story: Minimum of 4

Secondary Architectural Planes

One-Story: Minimum of 3 per side
Two-Story: Minimum of 3 per side

Chimneys

Shall extend fully from grade to above the eaves, constructed of masonry or stucco materials, and extend outward a minimum of 18-inches from the architectural plane to which it is attached may be counted as a corner break.

Foundation:

Minimum of 4-IN exposed or as required by the adopted Indiana Building Codes.

Windows:

Minimum size: 8-SF; however one (1) ox-eye or round window measuring a minimum of 2.5-FT diameter or one (1) stained glass window measuring a minimum of 6-SF may be substituted for one (1) 8-SF window. The substitution shall occur only once per structure.

Trim is required for all windows and may include decorative window Heads, decorative window surrounds, shutters, or applied trim being a Minimum of a 1-IN by 4-IN.

One Story: Minimum of 3 per each architectural plane
(Minimum Total Windows: 12)

Two-Story: Minimum of 4 per each architectural plane
(Minimum Total Windows: 16)

(Window-wells shall not count towards the minimum number of required windows)

Garage Door Percentage: Single-Story - Maximum of 30%.

Two Story - 20% Maximum

The percentage calculation includes windows and doors.

Front Load Garage:

Garage shall be offset a minimum of 4-FT to a maximum of 12-FT. If side-loading, court-yard or offset, the primary architectural plane shall have a minimum of one window in the garage portion.

Entryways:

Entryways shall be clearly defined, visible, and a dominant feature of the façade.

Porches shall be a minimum of 6-FT in depth and shall be provided where architecturally appropriate.

Roof Pitch:

Minimum 6/12 pitch

Roof, Mechanical, Equipment Vents

Vents shall be attached to the roof opposite the primary architectural plane matching the roof color.

Overhangs:

Minimum 12-IN from any exterior surface on all architectural planes. Gutters are not included in the dimension.

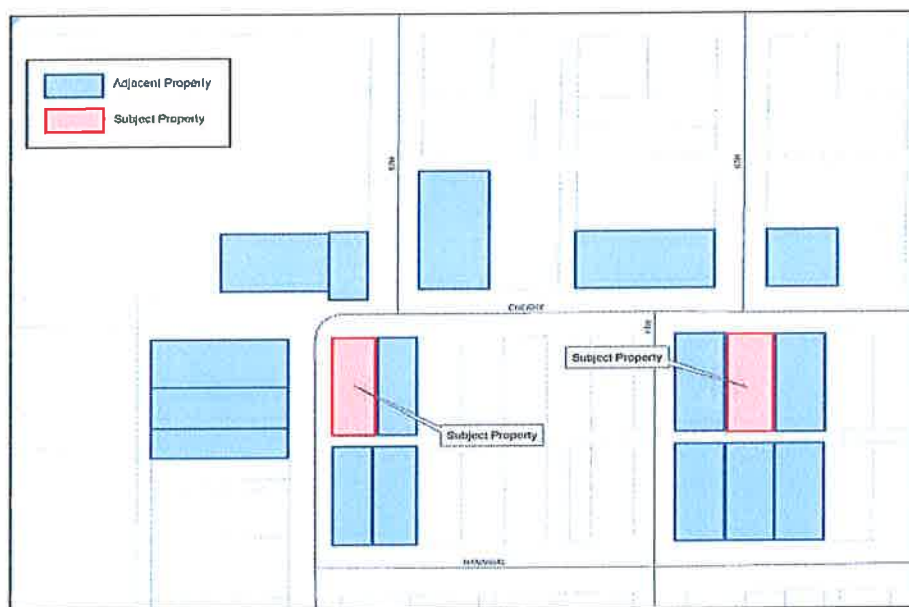
Chimneys:

If external shall extend fully from grade to above the eaves and shall be constructed of masonry or stucco materials. Shed-type or bump-out chimneys are prohibited.

Materials:

50% of the total building shall be masonry. The transition of the additional materials shall be logical and highlight architectural components including patterns, colors, blending, etc. Other permitted materials include hardi-plank (cementuous siding), stucco, wood, and vinyl siding having a minimum gauge of .048 and a minimum of ½-IN lip and certified by the Vinyl Siding Institute. Aluminum siding is prohibited.

No two structures including color, style, composition, etc. are permitted to be located adjacent to or across the street diagonally as per the drawing.



LANDSCAPING

The landscaping below is required in addition to the Street Trees. All shrubs are a minimum of 24-IN height at the time of planting. Tree sizes shall be as indicated below.

Lots greater than 50-FT in width shall include the following:

Front Yard Landscaping: Minimum of 2 trees (One shade tree required at a minimum 2.5-IN caliper, other tree could be an evergreen tree at 6-FT height, truck diameter at 2.5-IN), 10 shrubs

Side Yard Landscaping: Minimum 1 ornamental tree (minimum 1.5-IN caliper).
Minimum 2-FT wide beds along each sidewall, extending 12-FT from the corner break containing a minimum of 8 shrubs.

Rear Yard Landscaping: Minimum of one shade tree (minimum 2.5-IN caliper)

Lots less than 50-FT in width shall include the following:

Front Yard Landscaping: 1 ornamental tree (minimum 1.5 caliper), and 8 shrubs

Side Yard Landscaping: Required along one sidewall, a minimum 16-IN wide bed, extending 8-FT from the corner break containing a minimum of 6 shrubs.

Rear Yard Landscaping: Minimum of one shade tree in rear yard (minimum 2.5-IN caliper)

Specific architectural elevations submitted by a particular contractor/builder and approved by the Architectural Review Board for a particular planned development are the only elevations permitted for construction in said planned development. Should another contractor/builder propose to construct new housing including new architectural elevations in said development, the new housing elevations shall be submitted for review and approval by the Architectural Review Board even if the new housing elevations meet the written standards adopted. The price range and architectural components shall be similar to the original approved building elevations of that particular planned development.